

PRE-APPLICATION PLANNING SUBMISSION FOR:

DONUT DELITE

57 S. B STREET

SAN MATEO, CA 94401



SHEET INDEX

ISSUE LOG KEY:

X ISSUED AS PART OF THIS SET
R ISSUED FOR REFERENCE ONLY

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L1.07	LANDSCAPE RENDERINGS (LEVEL 4)	X						
SHEET TOTAL: 27								

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CLIENT:



HARVEST
PROPERTIES

PROJECT NAME & ADDRESS:

57 S. B STREET

PROJECT TEAM

OWNER

DTSN DONUT DELITE VENTURE, LLC
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PH: 510.466.1485

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CIVIL

SHERWOOD DESIGN ENGINEERS
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ELIZABETH LO - SR. PROJECT MANAGER

LANDSCAPE

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MECHANICAL - ELECTRICAL - PLUMBING

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MOANA REYNAU - SR. ASSOCIATE

PROJECT DESCRIPTION

THIS SET OF DRAWINGS IS FOR A NEW 4-STORY MASS TIMBER OFFICE BUILDING OF APPROXIMATELY 41,799 SF AT THE INTERSECTION OF S. B STREET AND 1ST AVENUE IN THE DOWNTOWN CORE OF SAN MATEO, CA. THIS PROJECT INCLUDES ON- AND OFF-SITE IMPROVEMENTS INCLUDING GROUND-LEVEL AND TERRACE LANDSCAPING, A CORNER RETAIL PLAZA, AND PUBLIC RIGHT-OF-WAY IMPROVEMENTS.

NEW BUILDING CONSTRUCTION WILL PURSUE USGBC LEED GOLD LEVEL AND WILL BE IN FULL COMPLIANCE WITH CALIFORNIA GREEN BUILDING CODE. THE BUILDING IS ALSO EXPECTED TO RUN ON ALL-ELECTRIC SYSTEMS WITH A POTENTIAL EXCEPTION FOR A FUTURE RESTAURANT TENANT.

GENERAL INFORMATION

ADDRESS OF PROJECT:	31, 35, 43, 47, 57 S. B STREET SAN MATEO, CA 94401
ASSESSOR'S PARCEL NUMBER:	034-054-030
EXISTING ZONING DISTRICT:	CENTRAL BUSINESS DISTRICT (CBD) DEPENDENT ON APPLICANT-LED ZONING AMENDMENT
2009 DOWNTOWN PLAN AREA:	DOWNTOWN RETAIL CORE
LOT SIZE (SQ. FT.):	+/- 16,413 SQ. FT.
FLOOR AREA RATIO (FAR):	3.0
ALLOWABLE BUILDING AREA:	49,239 SQ. FT.
FRONT SETBACK:	NONE
SIDE SETBACK:	NONE
REAR SETBACK:	NONE

PLUMBING FIXTURE CALCULATIONS

LEVEL	OCC GROUP	AREA	LOAD FACTOR	OCC (MW)	FIXTURES REQUIRED		
					WOMEN	MEN	DF
FLR 1	M	7,185 SF	200	18/18	1 WC / 1 LAVS	1WC / 0 UR / 1 LAVS	1
FLR 2	B	10,239 SF	200	26/26	2 WC / 1 LAVS	1WC / 1 UR / 1 LAVS	1
FLR 3	B	8,950 SF	200	23/23	2 WC / 1 LAVS	1WC / 1 UR / 1 LAVS	1
FLR 4	B	7,988 SF	200	20/20	2 WC / 1 LAVS	1WC / 1 UR / 1 LAVS	1

	FIXTURES REQUIRED TOTAL	87/87	7 WC / 4 LAVS	4 WC / 3 UR / 4 LAVS	2
	FIXTURES PROVIDED		7 WC / 7 LAVS	7 WC / 0 UR / 5 LAVS	4

NOTES:

- REQUIREMENTS PER 2019 CPC TABLE 422.1
- SQUARE FEET AREAS SHOWN ARE USABLE SPACES LESS ACCESSORY AREAS (HALLWAYS, RESTROOMS, STAIR ENCLOSURE, UTILITY ROOMS AND STORAGE.) PER CPC TABLE 4 EXCEPTION
- OCCUPANT LOAD FACTORS:
A. ASSEMBLY: 42
B. OFFICE: 200
- CPC 2016 - 422.0 - 3 THE TOTAL NUMBER OF REQUIRED WATER CLOSETS FOR FEMALES SHALL BE NOT LESS THAN THE TOTAL NUMBER OF REQUIRED WATER CLOSETS AND URINALS FOR MALES. (BSC) THIS REQUIREMENT SHALL NOT APPLY WHEN SINGLE OCCUPANCY TOILET FACILITIES ARE PROVIDED FOR EACH SEX IN AN A OR E OCCUPANCY WITH AN OCCUPANT LOAD OF LESS THAN 50. EITHER THE REQUIRED URINAL SHALL BE PERMITTED TO BE OMITTED OR IF INSTALLED, THE URINAL SHALL NOT REQUIRE A SECOND WATER CLOSET TO BE PROVIDED FOR THE FEMALE.
- RESTROOMS ARE PROVIDED AS SINGLE-OCCUPANT FACILITIES. 50% ARE PROVIDED AS ACCESSIBLE.

PARKING CALCULATIONS

PARKING ZONE:	CPID LIMITED PARKING ZONE (LPZ)
REQUIRED (SMMC 27.64.100)	
RETAIL (1.9/1,000):	10 STALLS
OFFICE (2.6/1,000):	95 STALLS
PROVIDED:	0 - IN-LIEU FEE TO BE PAID
BIKE PARKING	
SHORT TERM REQ'D - OFFICE (1/20,000 SF):	2
SHORT TERM REQ'D - RETAIL (1/2,000 SF):	4
LONG TERM REQ'D - OFFICE (1/10,000 SF):	4
LONG TERM REQ'D - RETAIL (1/12,000 SF):	1
PROVIDED SHORT TERM:	6
PROVIDED LONG TERM:	12

PROPOSED BUILDING DATA

BUILDING HEIGHT (FT.):	55' - 0"
NUMBER OF STORIES:	4
NUMBER OF BUILDINGS ON SITE:	1
OCCUPANCY TYPE:	B, M
CONSTRUCTION TYPE (ASSUMES MASS TIMBER):	III-B (CBC TABLE 503, 601) (MAY CHANGE IF MATERIALS CHANGE)
PROPOSED BUILDING AREA PER CBC 2019:	
	1ST FLOOR 12,137 SF
	2ND FLOOR 11,286 SF
	3RD FLOOR 9,853 SF
	4TH FLOOR 8,523 SF
TOTAL:	41,799 SF (2.55 FAR)

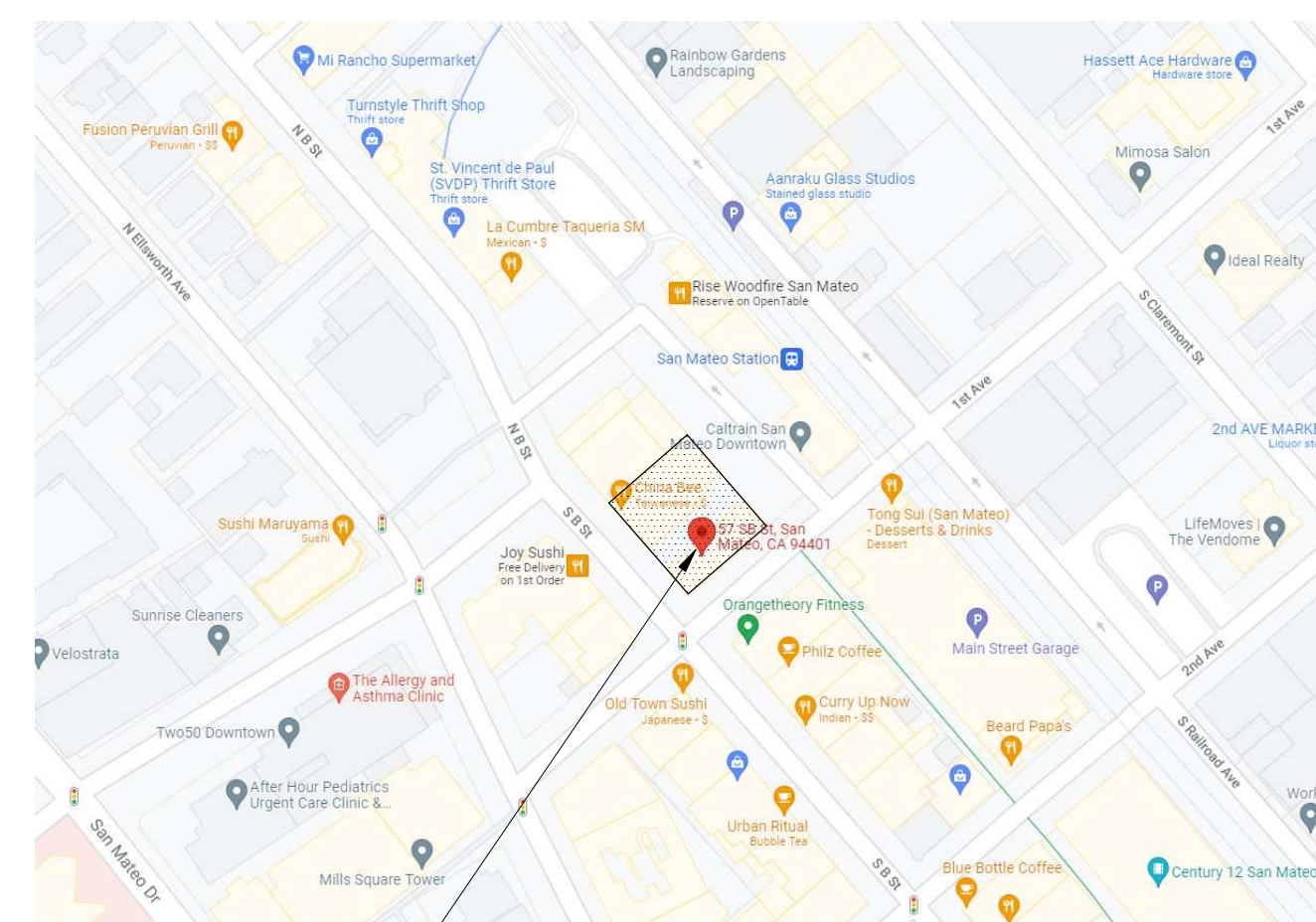
NOTE:
PROPOSED BUILDING TO BE FULLY SPRINKLERED. BASE FIRE SPRINKLER SYSTEM TO MEET NFPA13 REQUIREMENTS

APPLICABLE CODES

2019 CALIFORNIA BUILDING STANDARDS CODE (TITLE 24), EFFECTIVE JANUARY 1, 2020:

- PART 1 - CALIFORNIA ADMINISTRATIVE CODE
- PART 2 - CALIFORNIA BUILDING CODE, VOLUMES 1 AND 2
- PART 2.5 - CALIFORNIA RESIDENTIAL CODE
- PART 3 - CALIFORNIA ELECTRICAL CODE
- PART 4 - CALIFORNIA MECHANICAL CODE
- PART 5 - CALIFORNIA PLUMBING CODE
- PART 6 - CALIFORNIA ENERGY CODE
- PART 7 - VACANT/NOT USED
- PART 8 - CALIFORNIA HISTORICAL BUILDING CODE
- PART 9 - CALIFORNIA FIRE CODE
- PART 10 - CALIFORNIA EXISTING BUILDING CODE
- PART 11 - CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN CODE)
- PART 12 - CALIFORNIA REFERENCED STANDARDS CODE
- CAL/OSHA - TITLE 8, 2019 ELEVATOR SAFETY CODE
- STANDARD SPECIFICATIONS AND DETAILS AND OTHER APPLICABLE REGULATIONS ISSUED BY AGENCIES HAVING JURISDICTION OVER THE PROJECT
- THE WORK SHALL MEET OR EXCEED THE REQUIREMENTS OF THE CODES AND REGULATIONS LISTED ABOVE, INCLUDING SUPPLEMENTS AND AMENDMENTS IN EFFECT AT THE TIME THE DOCUMENTS WERE ISSUED

VICINITY MAP



SCALE: 1/2" = 1'-0"

PROJECT NUMBER: 2202017.00
DRAWN BY: Author
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CONSTRUCTION

SHEET NAME:
COVER SHEET

SHEET NUMBER:

A0.1

CLIENT:



PROJECT NAME & ADDRESS:

57 S. B STREET

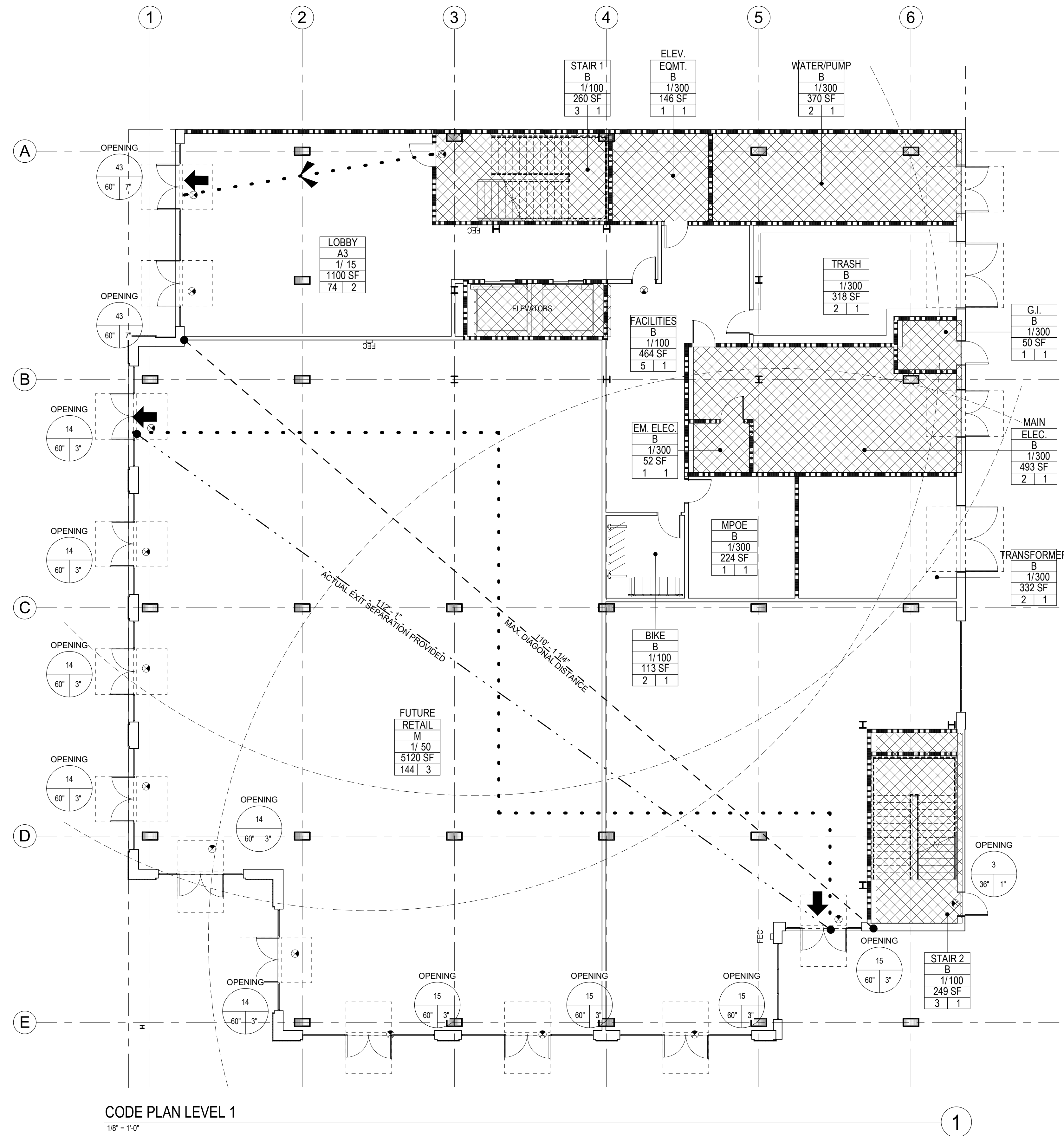
57 S. B STREET
SAN MATEO, CA 94401

ISSUE:

ISSUE DATE:

REVISIONS:

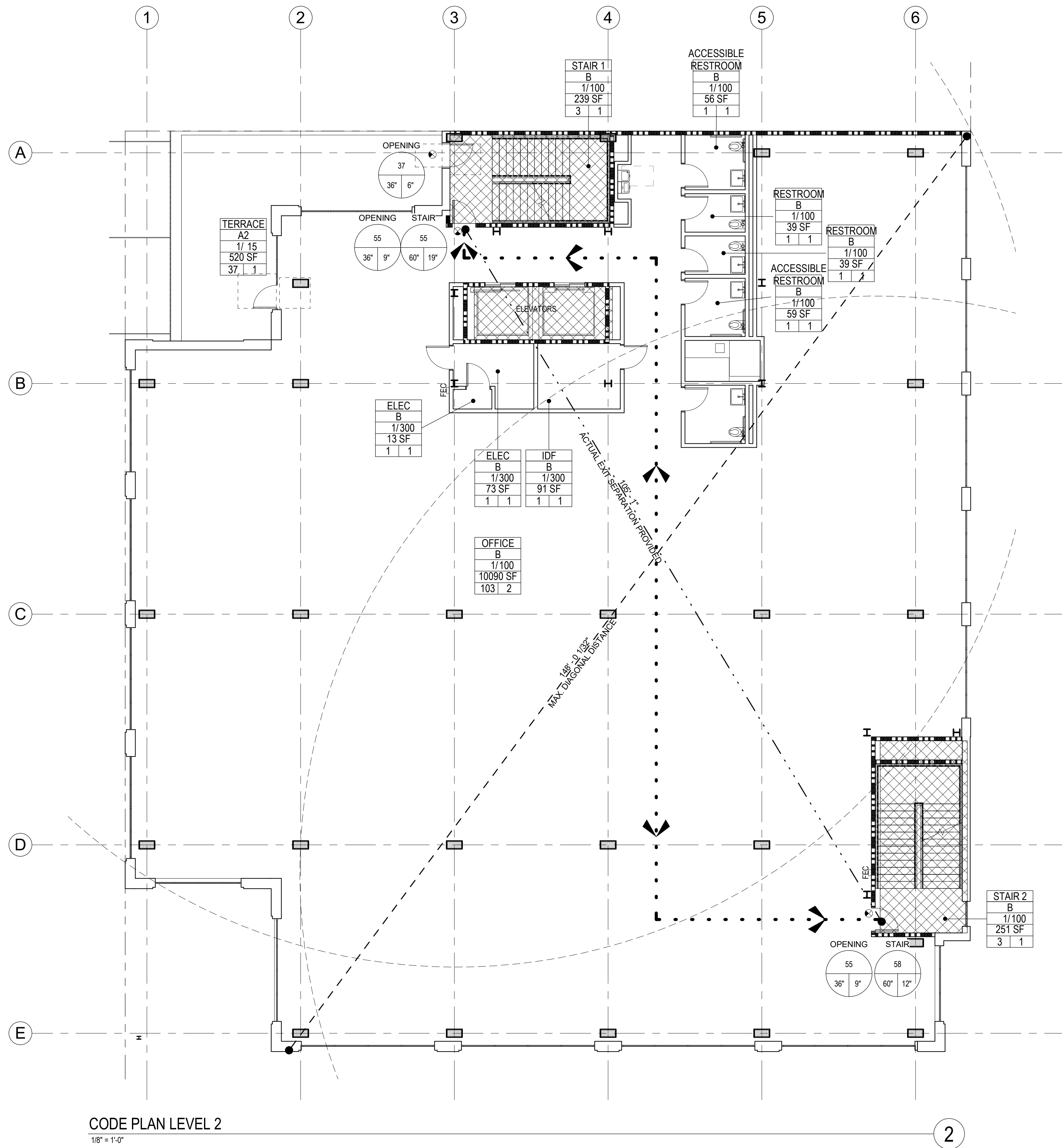
REVISIONS	DESCRIPTION	DATE
1	PRE-APPLICATION	12/09/2021



CODE PLAN LEVEL 1

1/8" = 1'-0"

1



CODE PLAN LEVEL 2

1/8" = 1'-0"

2

SHEET NOTES

- SHEET NOTES AND KEY NOTES ARE FOR THE C+S SCOPE OF WORK AND ARE SPECIFIC TO THIS SHEET ONLY. UON THE ITEMS BELOW ARE HIGHLIGHTS ONLY. ALL 2019 CBC REQUIREMENTS SHALL BE ADHERED TO.
- THE OCCUPANCIES FOR THE TENANT SPACES WERE CALCULATED PER CBC TABLE 1004.1.2.
- REQUIRED EXITS ARE PLACED AT LEAST 10 THE CALCULATED DISTANCE FROM THE FARTHEST POINTS OF THE NEW SPACE. (CBC SECTION 1007.1.1 EXCEPTION 2).
- MAXIMUM EXIT TRAVEL DISTANCE IS 200' FOR A OCCUPANCY AND 300' FOR B OCCUPANCY. CBC TABLE 1017.2.
- EGRESS WIDTH CALCULATIONS FOR OPENINGS AND STAIRS IS BASED UPON CBC. SECTION 1005.3.1 AND 1005.3.2.
- EXCEPTION 1
- EXIT OPENING WIDTH FACTOR = 0.15 X OCCUPANT LOAD
- STAIR WIDTH FACTOR = 0.2 X OCCUPANT LOAD
- EGRESS WIDTH AND EXIT COMPONENTS IS BASED UPON CBC. SECTION 1005.3.
- THE NUMBER OF REQUIRED EXITS IS BASED UPON CBC. TABLE 1006.1.1.
- REFER TO DOOR SCHEDULE FOR DOOR AND FRAME TYPES, RATINGS, SIZE AND HARDWARE TYPES.
- ALL DOORS SHALL HAVE CLEAR WIDTH NOT LESS THAN 32" PER CBC. SECTION 1010.1.1. UON.
- PROVIDE TEMPORARY FIRE EXTINGUISHERS FOR C+S SCOPE OF WORK. LOCATE A MAXIMUM OF 75 FEET FROM ANY LOCATION WITHIN THE PROJECT AREA AND 100 FEET BETWEEN INDIVIDUAL FIRE EXTINGUISHERS. 3,000 SF PER CABINET. LOCATE UNITS WHERE SHOWN OR AS DIRECTED BY THE FIRE MARSHAL. FIRE EXTINGUISHERS SHALL COMPLY WITH 2019 CBC SECTION 906 AND TABLE 906.3.1.1. FIRE EXTINGUISHERS TO BE MOUNTED ON FREE STANDING PEDESTALS. LARSEN'S MPS WITH RATING 2A 10B-C, 5 LBS CAPACITY.
- SIGNAGE SHALL COMPLY WITH CBC 118-710 FOR SIGNAGE.
- PROVIDE SYMBOL OF ACCESSIBILITY AT FRONT ENTRANCE.
- PROVIDE STAIRWELL TACTILE EXIT SIGNAGE PER CODE REQUIREMENT. REFER TO TACTILE SIGNAGE NOTES (2019 CBC SECTION 1023.9 AND 118-624.8). REFER TO ENLARGED STAIR PLANS.
- ALL INTERIOR TACTILE EGRESS SIGNAGE TO BE PROVIDED DURING FUTURE TI PHASE.
- ALL FIRE PROTECTION EQUIPMENT AND ROOMS CONTAINING CONTROLS FOR AIR-CONDITIONING SYSTEMS, SPRINKLER RISERS AND VALVES, OR OTHER SUPPRESSION OR CONTROL ELEMENTS SHALL BE IDENTIFIED BY APPROVED SIGNAGE AND ACCESSIBLE BY FIRE DEPARTMENT PER SECTION 909, 2019 CALIFORNIA FIRE CODE. COORDINATE SIGNAGE REQUIREMENTS AND ACCESS WITH LOCAL FIRE MARSHAL JURISDICTION.
- PROVIDE EMERGENCY VOCAL/ALARM COMMUNICATION SYSTEM.
- THE MAXIMUM REQUIRED EXIT SEPARATION IS BASED UPON CBC. SECTION 1007.1.
- RESTROOM FIXTURE CALCULATION BASED UPON 2019 CPC CODE:
 - A. REQUIREMENTS PER 1009.2.2 TABLE 402.1.
 - B. AREA SQUARE FOOTAGE SHOWN INCLUDES USABLE SPACES, LESS ACCESSORY AREAS, (HALLWAYS, CIRCULATION, RESTROOM, STAIR ENCLOSURE, UTILITY/STORAGE ROOMS, PER TABLE A EXCEPTION).
 - C. OCCUPANCY LOAD FACTORS USED INCLUDE:
 - ASSEMBLY: A2, A3 = 150
 - BUSINESS: B = 100
- ALL REQUIRED OCCUPANCY SEPARATIONS FOR THE FUTURE MIXED OCCUPANCY ZONES TO BE DETERMINED DURING THE FUTURE TI SCOPE OF WORK.

KEYNOTES

KEY NOTE SYMBOL USED ON DRAWINGS

EXIT WIDTH CALCULATION

LEVEL	OCCUPANT LOAD	TOTAL NUMBER OF EXITS		TOTAL EGRESS WIDTH		TOTAL STAIR WIDTH	
		REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED
FLR 1	236 OCC	2	13	35.4"	900"	NA	NA
FLR 2	147 OCC	2	2	22.05"	72"	29.4"	120"

- NOTES:
- CALCULATIONS IN THIS TABLE ARE BASED ON 2016 CBC SECTION 1005.3
 - EGRESS WIDTHS BASED ON CBC SECTION 1005.3.1 AND 1005.3.2
 - EGRESS WIDTH MEETS CBC SECTION 1005.5 FOR DISTRIBUTION OF MINIMUM WIDTH AND REQUIRED CAPACITY

OCCUPANT LOAD CALCULATION

Code Plan-Occupancy Schedule - Level 1				
NAME	OCCUPANCY	AREA (SF)	LOAD FACTOR	OCCUPANT LOAD
BIKE	B	113 SF	100	2
EM. ELEC.	B	52 SF	300	1
FACILITIES	B	464 SF	100	5
FUTURE OFFICE		1956 SF		
FUTURE RETAIL	M	5120 SF	50	103
G.I.	B	50 SF	300	1
LOBBY	A3	1100 SF	15	74
MAIN ELEC.	B	493 SF	300	2
MPOE	B	224 SF	300	1
TRANSFORMER	B	332 SF	300	2
TRASH	B	318 SF	300	2
WATER/PUMP	B	370 SF	300	2
		10592 SF		195

Code Plan-Occupancy Schedule - Level 2				
NAME	OCCUPANCY	AREA (SF)	LOAD FACTOR	OCCUPANT LOAD
ACCESSIBLE RESTROOM	B	59 SF	100	1
RESTROOM	B	56 SF	100	1
ELEC	B	13 SF	300	1
ELEC	B	73 SF	300	1
IDF	B	91 SF	300	1
OFFICE	B	10090 SF	100	101
RESTROOM	B	39 SF	100	1
RESTROOM	B	39 SF	100	1
TERRACE	A2	520 SF	15	35
		10981 SF		143

LEGEND

ROOM TYPE

OCCUPANCY TYPE

LOAD FACTOR

ROOM AREA

NO. OF REQD EXITS

CALCULATED OCCUPANCY LOAD

OCC LOAD SERVED

REQD WIDTH

PROVIDED WIDTH

OPENING OR STAIR (WHERE INDICATED)

EGRESS LOADS/WIDTHS FOR EXIT OPENING AND STAIR

EGRESS LOADS/WIDTHS FOR EXIT OPENING AND STAIR (SEE EXIT WIDTH CALCS AT POINT OF EGRESS CHART)

REQUIRED POINT OF EGRESS

PATH OF EGRESS ROUTE

MAX DIAGONAL DISTANCE

ACTUAL EXIT SEPARATION, CBC SECTION 1007.1.1, EXCEPTION 2

COMMON PATH OF EGRESS TRAVEL, (MAX 100 FEET PER CBC TBL 1006.3.2(2))

MAXIMUM EXIT TRAVEL DISTANCE ROUTE (MAX 300 FEET PER CBC TBL 1017.2)

TRAVEL ROUTE AND DISTANCE TO NEAREST FEC (MAX 75')

ILLUMINATED EXIT SIGN WITH DIRECTIONAL ARROWS (WHERE SHOWN)

ACCESSIBLE ENTRANCE / EXIT WITH ADA COMPLIANT SIGNAGE

FIRE EXTINGUISHER CABINET - RECESSED MOUNTED, UON

FIRE EXTINGUISHER SEPARATION - ACCESS RADIUS RANGE OF 75' MAXIMUM

CODE ROOM TAG

NEW PARTITION, SEE FLOOR PLANS FOR PARTITION TYPE

1 - HOUR RATED PARTITION, SEE FLOOR PLANS FOR PARTITION TYPE

2 - HOUR RATED PARTITION, SEE FLOOR PLANS FOR PARTITION TYPES

T1 AREA NON-RATED

1 - HOUR RATED ROOM

2 - HOUR RATED ROOM

EXIT ROUTE SIGNAGE

A - TACTILE SIGNAGE: "EXIT" (SEE DETAIL 11/A9.6.1)

B - TACTILE SIGNAGE: "EXIT ROUTE" (SEE DETAIL 11/A9.6.1)

C - TACTILE SIGNAGE: "EXIT STAIR DOWN" (SEE DETAIL 11/A9.6.1)

D - TACTILE SIGNAGE: "EXIT STAIR UP" (SEE DETAIL 11/A9.6.1)

[PH] - PANIC HARDWARE REQUIRED FOR NON-RATED DOORS

[PHR] - PANIC HARDWARE - RATED REQUIRED FOR RATED DOORS

[CR] - ELECTRONIC CARD READER DEVICE

SCALE: As indicated

PROJECT NUMBER: 2202017.00

DRAWN BY: Author

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SHEET NAME:
FIRST AND SECOND
FLOOR CODE PLANS

SHEET NUMBER:

A0.2



CORNER VIEW
NO SCALE

1

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SHEET NAME:
RENDERINGS

SHEET NUMBER:

A0.4



1ST AVE VIEW
NO SCALE

1



B ST VIEW
NO SCALE

1

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CONSTRUCTION

SHEET NAME:

RENDERINGS

SHEET NUMBER:

A0.5



OFFICE ENTRY ELEVATION
NO SCALE

1



1ST AVE ELEVATION
NO SCALE

2



B ST ALTERNATE VIEW
NO SCALE

3



CORNER PLAZA VIEW
NO SCALE

4



3RD TERRACE VIEW
NO SCALE

5

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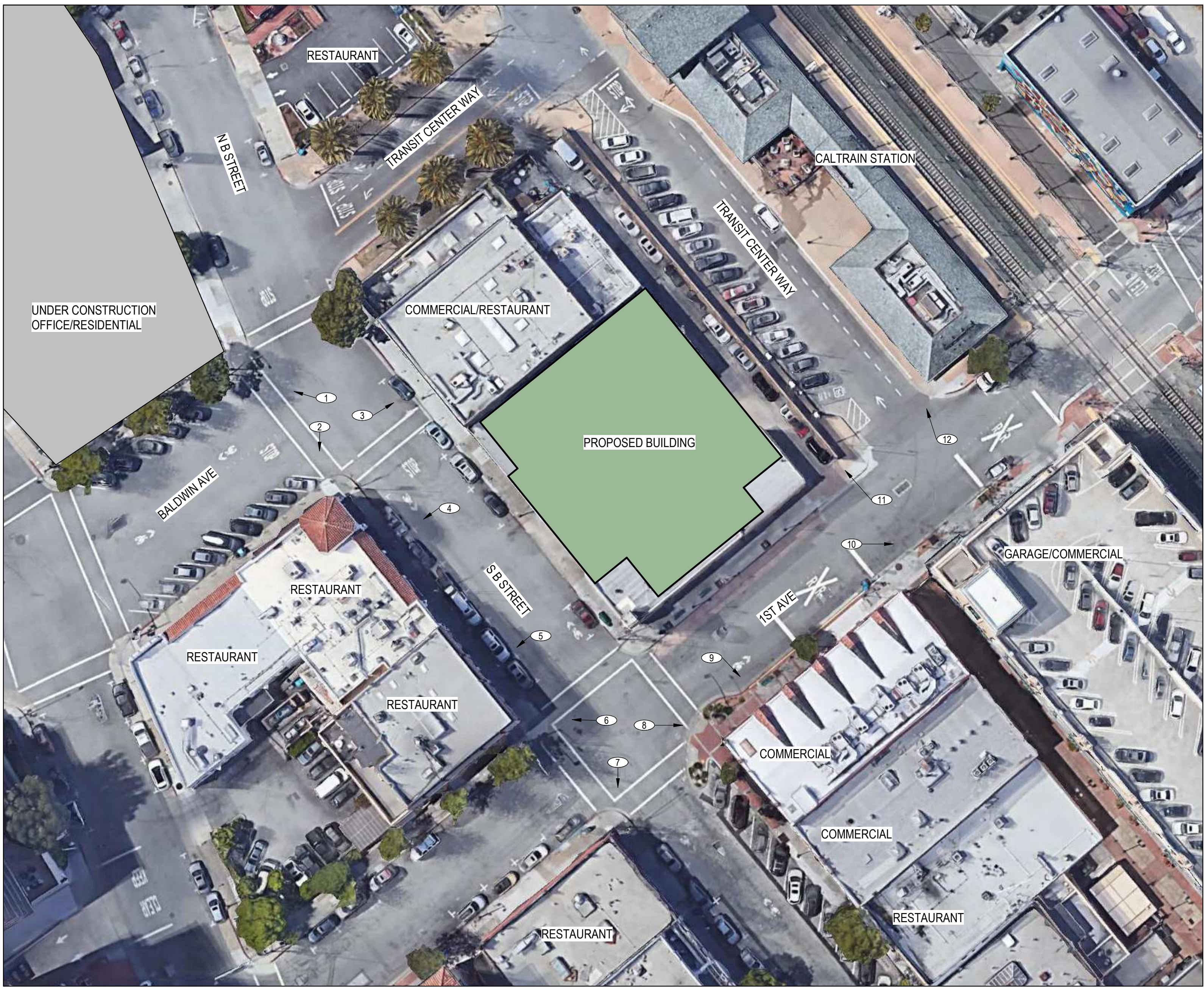
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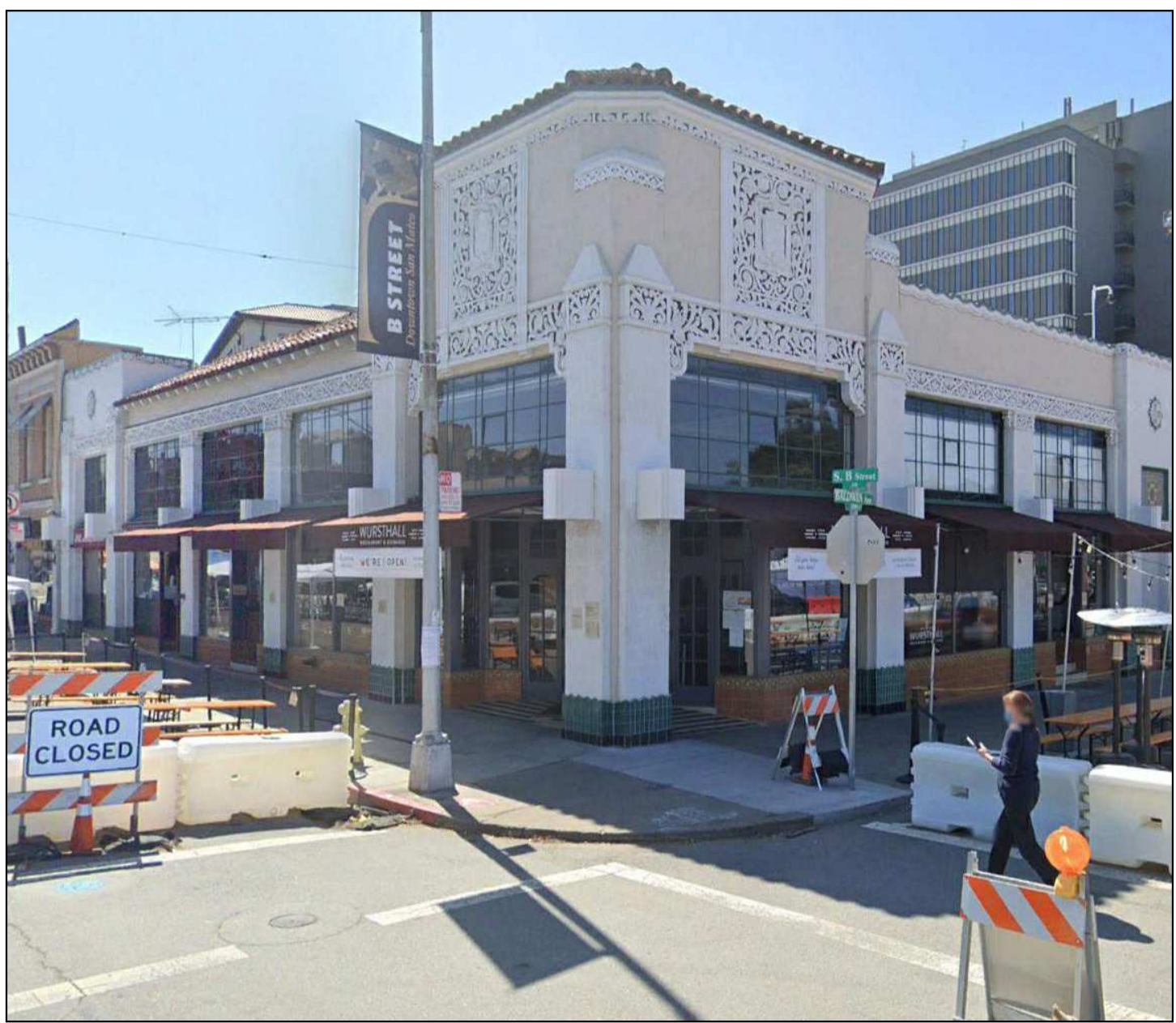
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RENDERINGS

SHEET NUMBER:

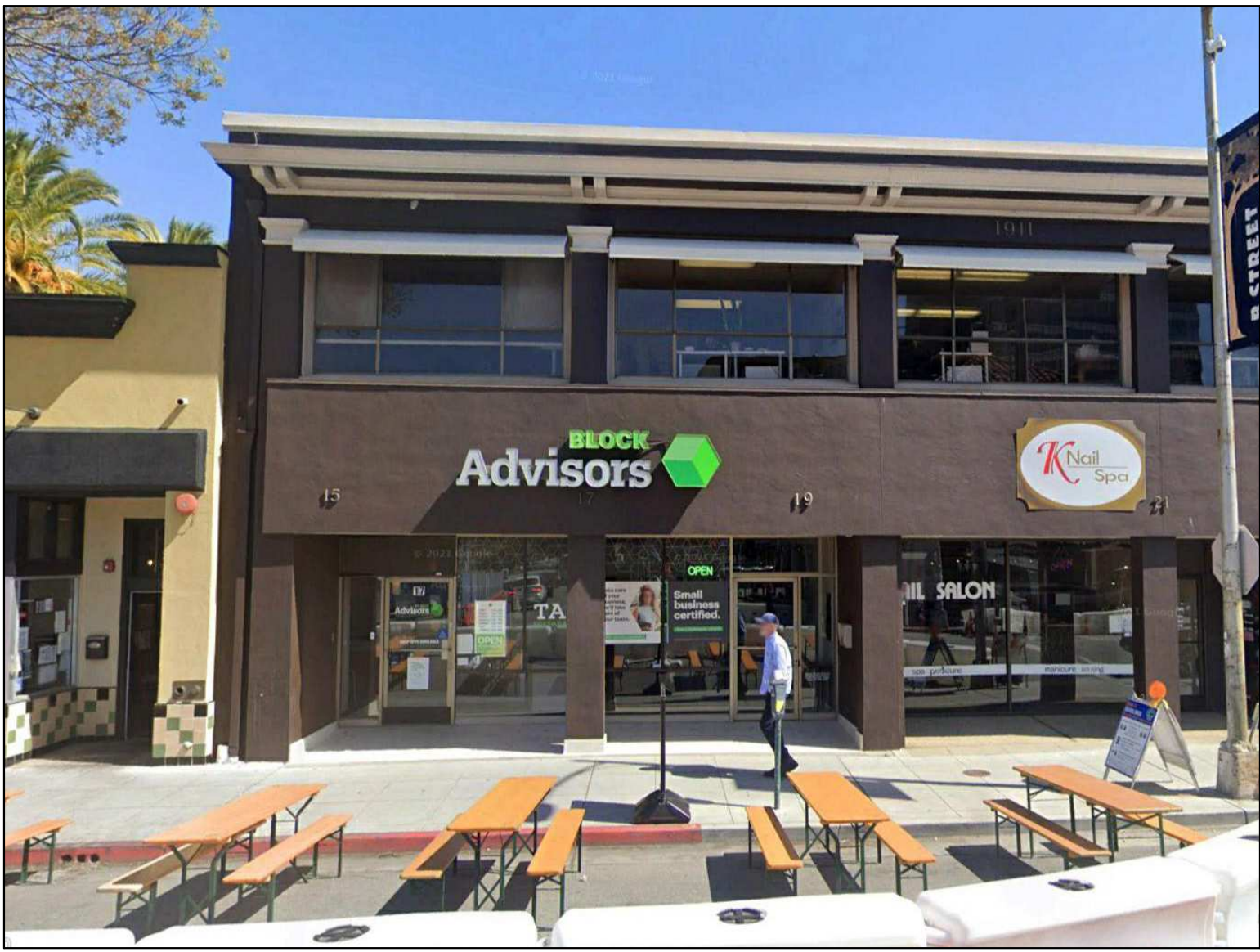
A0.6



1. UNDER CONSTRUCTION OFFICE/RESIDENTIAL



2. RESTAURANT



3. COMMERCIAL/RESTAURANT



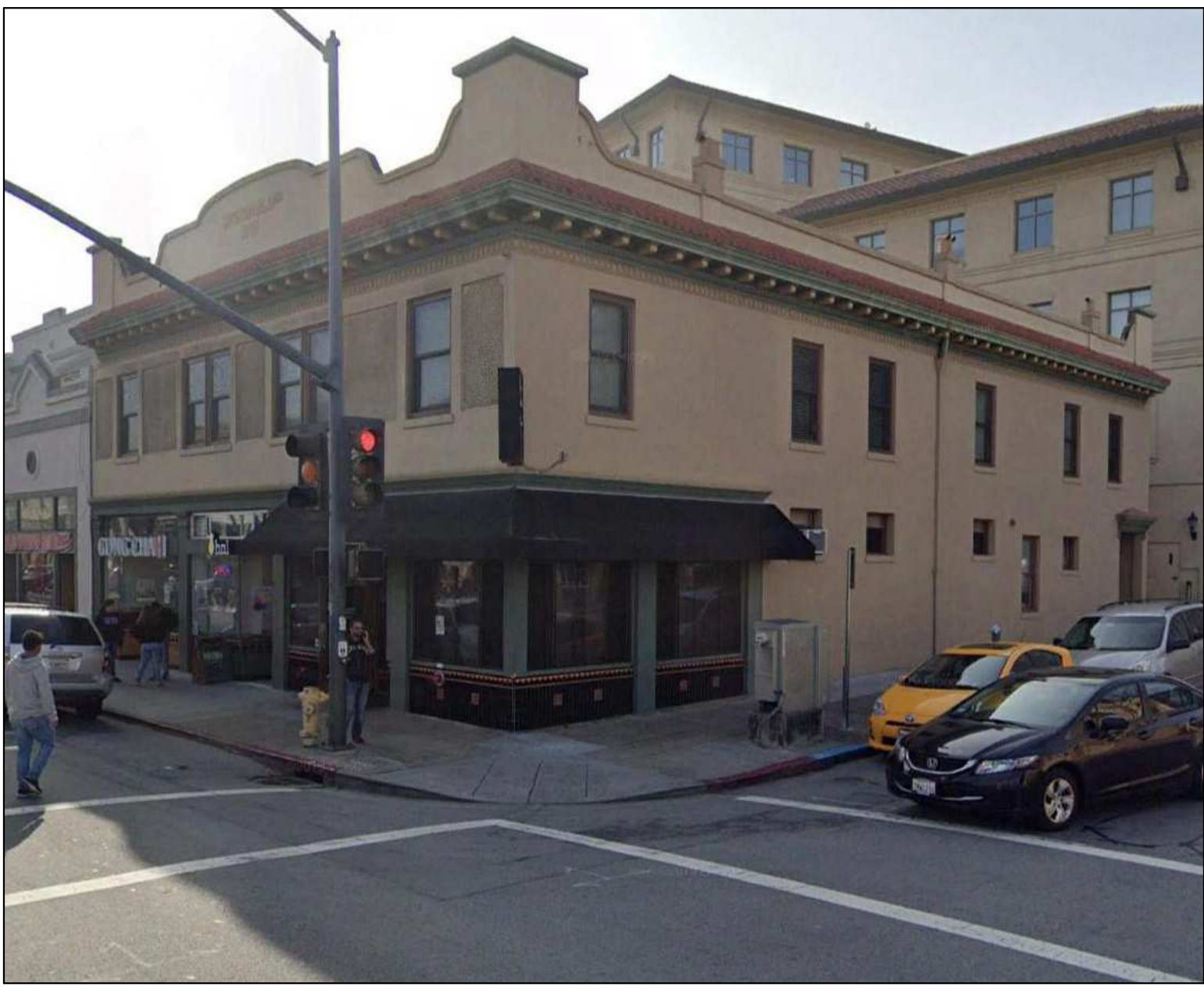
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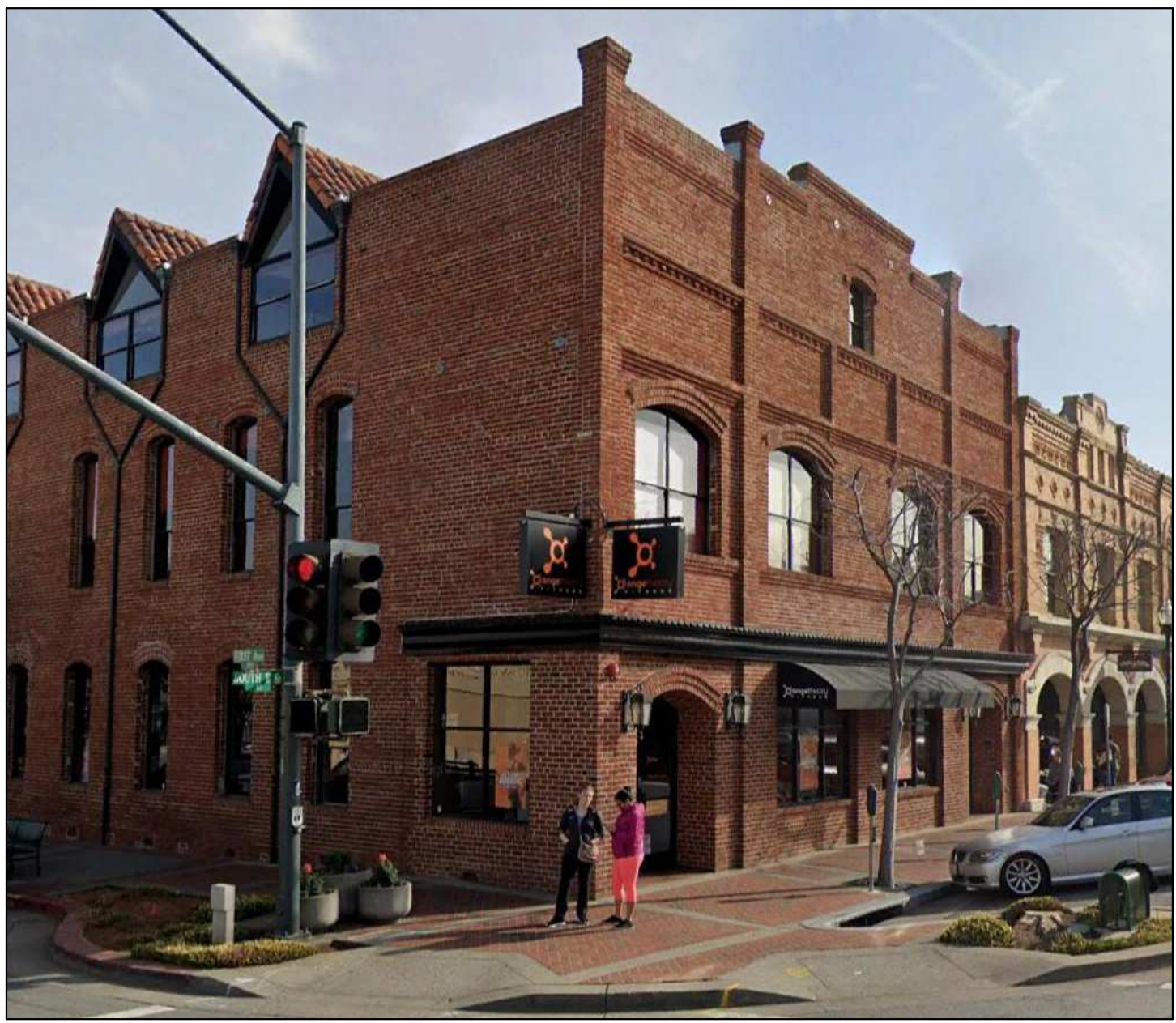
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6. RESTAURANT



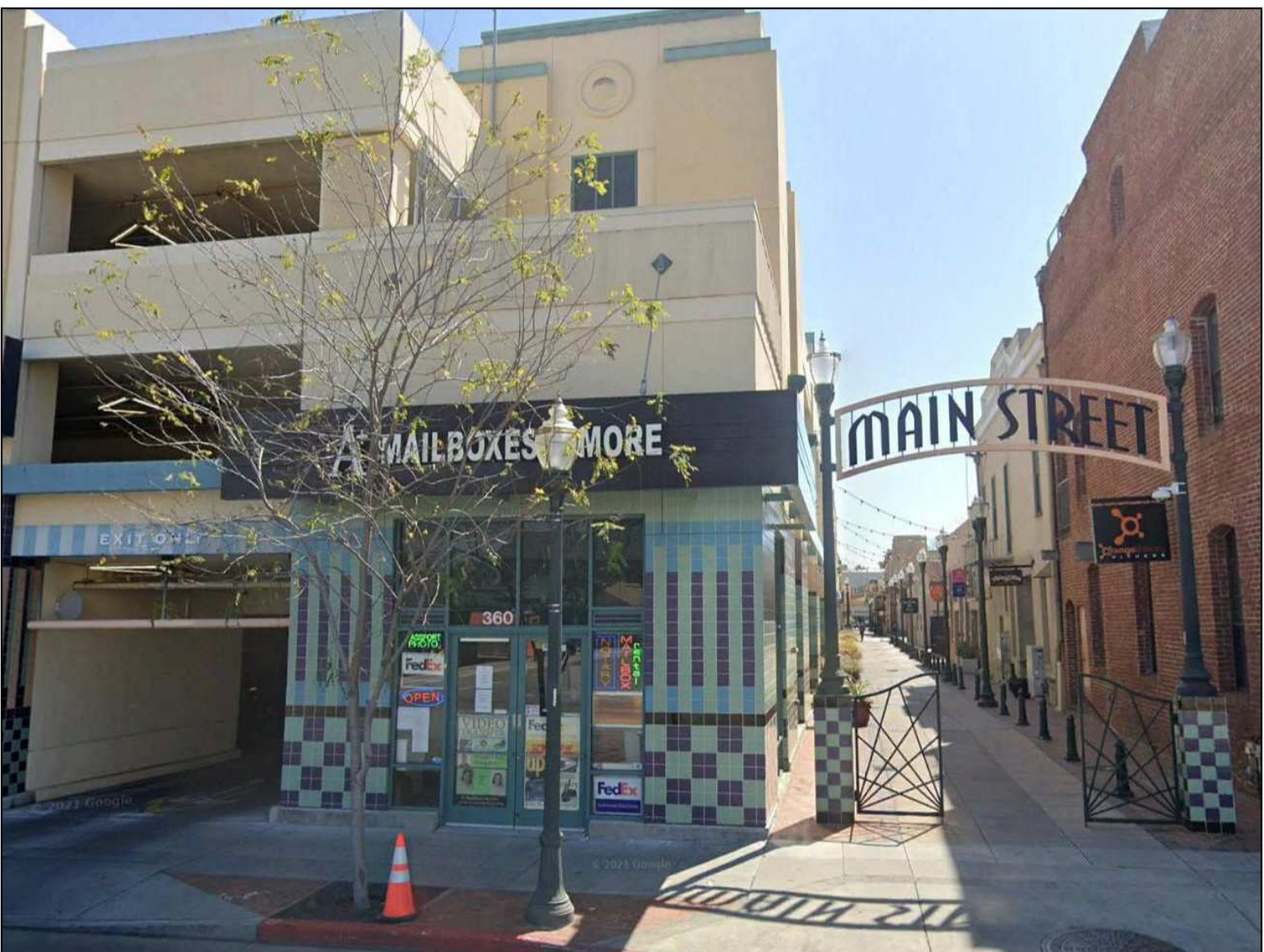
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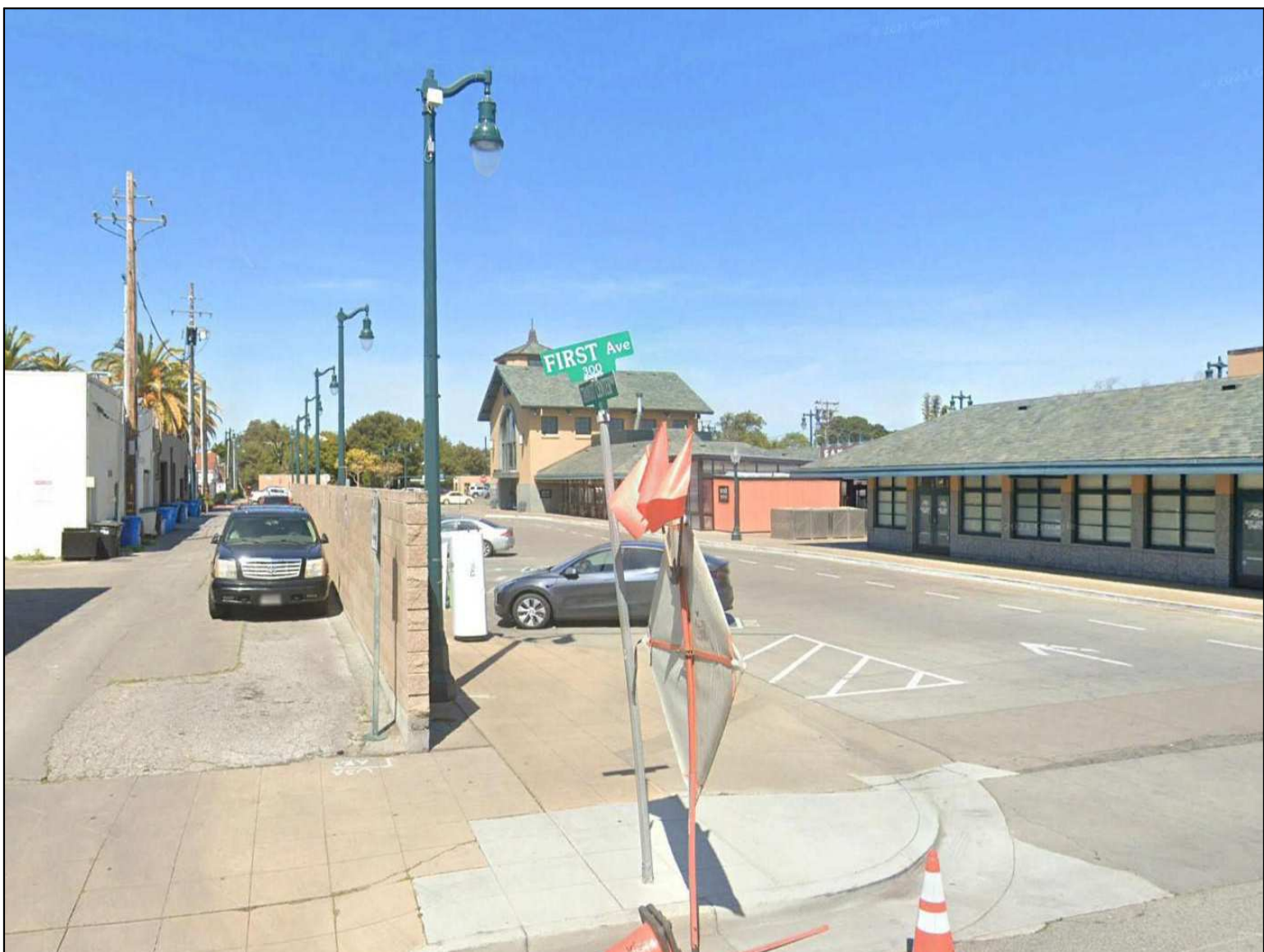
8. COMMERCIAL



9. COMMERCIAL



10. PARKING GARAGE/COMMERCIAL



11. PARKING LOT/ALLEY



12. CALTRAIN STATION

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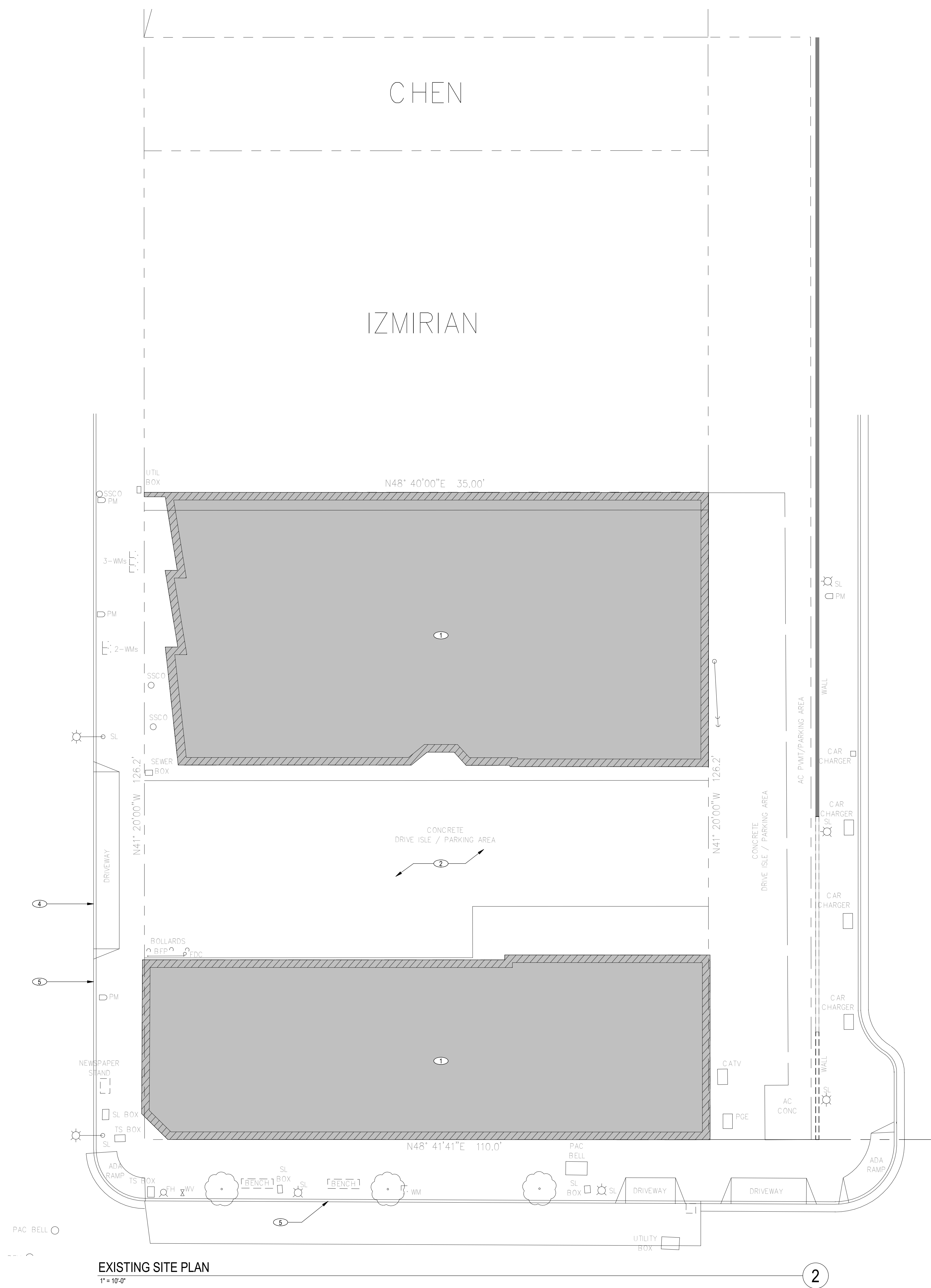
NOT FOR
CONSTRUCTION

SHEET NAME:
NEIGHBORHOOD
CONTEXT

SHEET NUMBER:

A0.7

**NOT FOR
CONSTRUCTION**



CLIENT:



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KEYNOTES

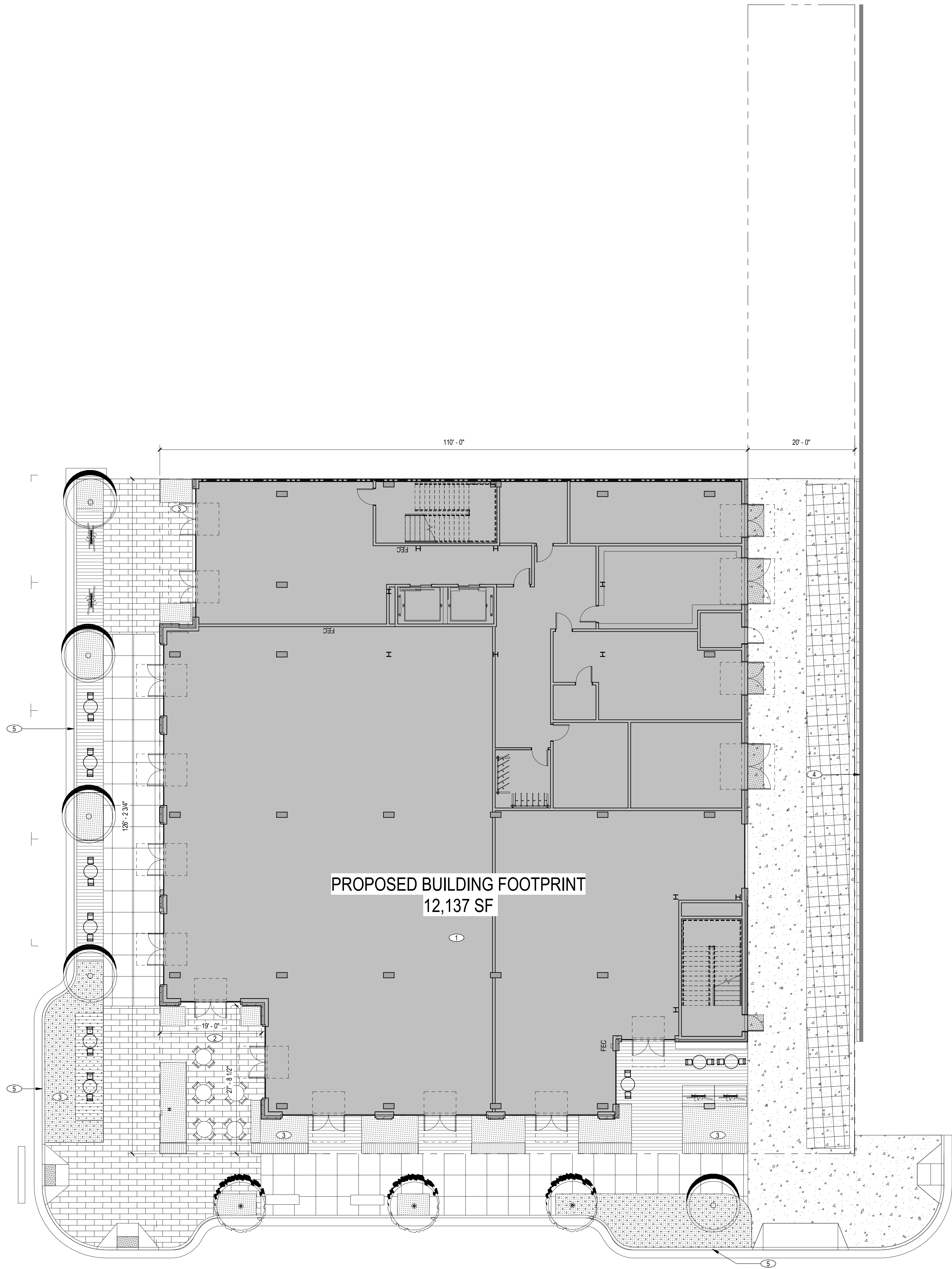
- | KEYNOTE | DESCRIPTION |
|---------|--|
| 1 | PROPOSED BUILDING |
| 2 | PROPOSED OUTDOOR PLAZA |
| 3 | PROPOSED PLANTING AREAS. REFER TO LANDSCAPE AND CIVIL DRAWINGS |
| 4 | PORTION OF EXISTING CMU WALL TO REMAIN |
| 5 | PROPOSED IMPROVEMENTS TO PUBLIC R.O.W. REFER TO CIVIL DRAWINGS |

ISSUE:

ISSUE DATE:

REVISIONS:

REVISION	DESCRIPTION	DATE
1	PRE-APPLICATION	12/09/2021



SITE PLAN
1" = 10'-0"

1

SCALE:

1" = 10'-0"

PROJECT NUMBER:

2202017.00

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Author

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NOT FOR
CONSTRUCTION

SHEET NAME:

PROPOSED SITE PLAN

SHEET NUMBER:

A1.1



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ISSUE DATE:

REVISIONS :

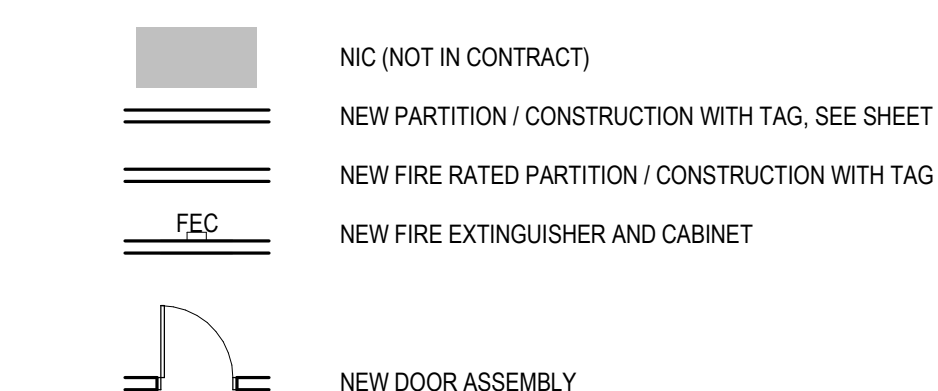
#	DESCRIPTION	DATE
	PRE-APPLICATION	12/09/2021

KEYNOTES

#	KEYNOTE DESCRIPTION
---	---------------------

- 1 WOOD-CLAD STOREFRONT GLAZING, TYP.
2 MASS TIMBER STRUCTURAL COLUMN, TYP.
3 STEEL BRACE FRAME
4 MECHANICAL SHAFT
5 OUTLINE OF FLOOR ABOVE

LEGEND



SCALE: $1/8" = 1'-0"$

PROJECT NUMBER:	2202017.00
DRAWN BY:	Author
CHECKED BY:	Checker

STAMP

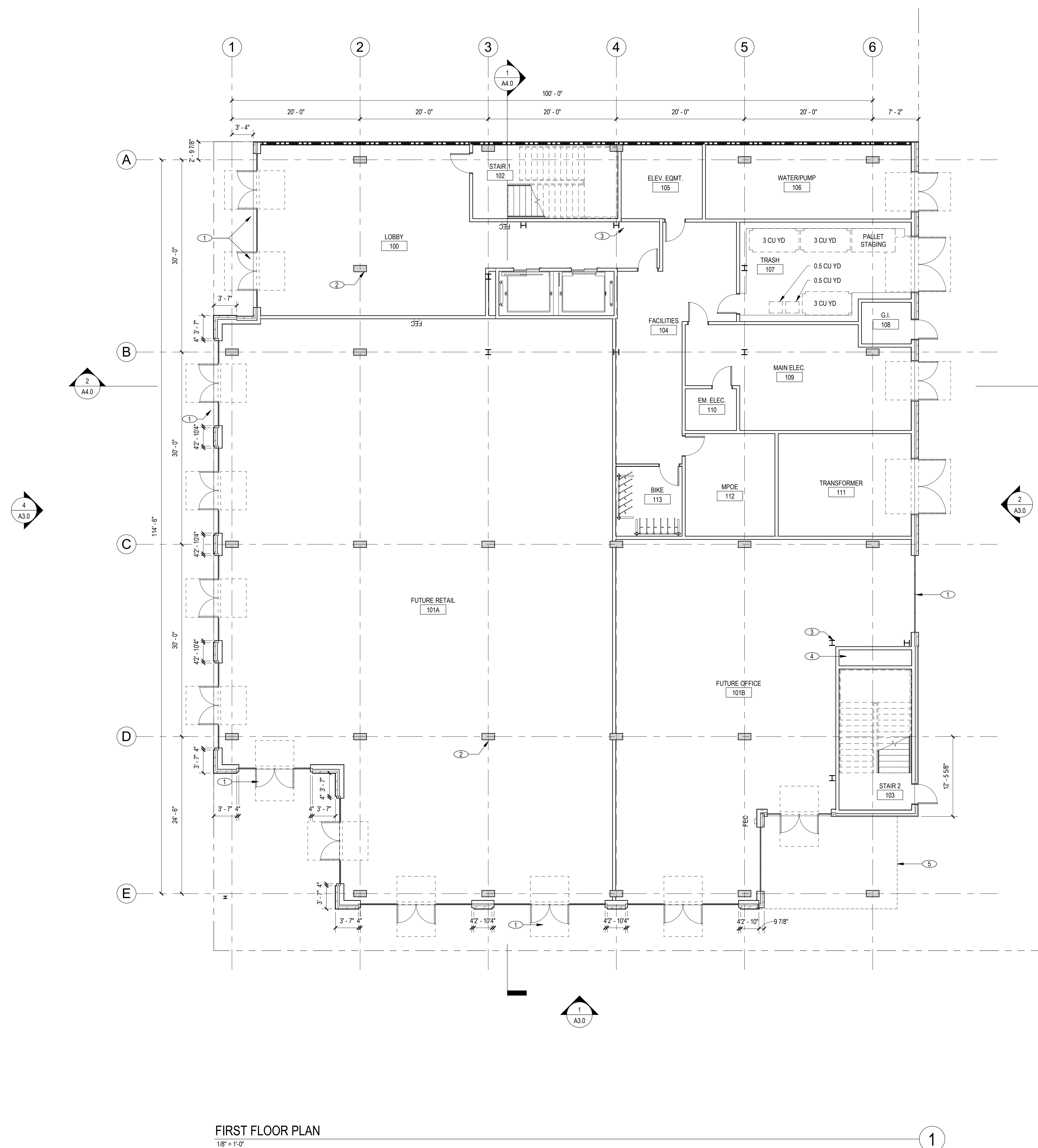
**NOT FOR
CONSTRUCTION**

SHEET NAME:

FIRST FLOOR PLAN

SHEET NUMBER:

A2.0



CLIENT:



PROJECT NAME & ADDRESS:

57 S. B STREET

57 S. B STREET
SAN MATEO, CA 94401

ISSUE:

ISSUE DATE:

REVISIONS:

DESCRIPTION	DATE
PRE-APPLICATION	12/09/2021

KEYNOTES

KEYNOTE DESCRIPTION

- 1 DARK FRAMED STOREFRONT GLAZING, TYP.
- 2 MASS TIMBER STRUCTURAL COLUMN, TYP.
- 3 STEEL BRACE FRAME.
- 4 MECHANICAL SHAFT
- 5 LOBBY ENTRY CANOPY BELOW
- 6 UNCOVERED TENANT TERRACE

LEGEND

- NIC (NOT IN CONTRACT)
- NEW PARTITION / CONSTRUCTION WITH TAG, SEE SHEET
- NEW FIRE RATED PARTITION / CONSTRUCTION WITH TAG
- NEW FIRE EXTINGUISHER AND CABINET
- NEW DOOR ASSEMBLY

SCALE:

1/8" = 1'-0"

PROJECT NUMBER:

2202017.00

DRAWN BY:

Author

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Checker

STAMP:

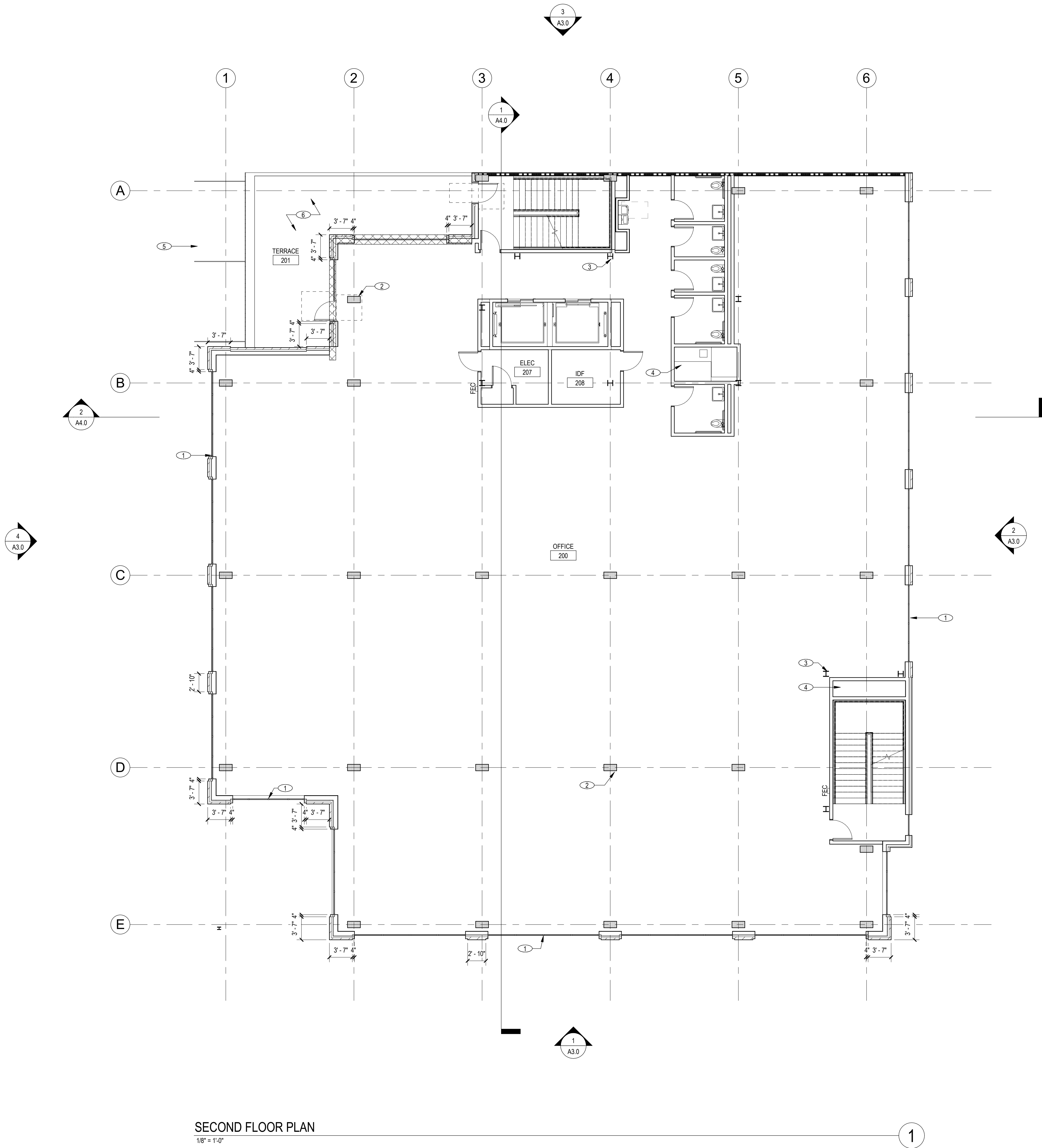
NOT FOR
CONSTRUCTION

SHEET NAME:

SECOND FLOOR PLAN

SHEET NUMBER:

A2.1



SECOND FLOOR PLAN

1/8" = 1'-0"

1

CLIENT:



PROJECT NAME & ADDRESS:

57 S. B STREET

57 S. B STREET
SAN MATEO, CA 94401

ISSUE:

ISSUE DATE:

REVISIONS :

DESCRIPTION	DATE
PRE-APPLICATION	12/09/2021

KEYNOTES

KEYNOTE DESCRIPTION

- 1 DARK FRAMED STOREFRONT GLAZING, TYP.
- 2 MASS TIMBER STRUCTURAL COLUMN, TYP.
- 3 STEEL BRACE FRAME.
- 4 MECHANICAL SHAFT
- 5 BUTT-JOINT GLAZED CURTAINWALL SYSTEM
- 6 UNCOVERED TENANT TERRACE (TO BE SUBDIVIDED AS PART OF FUTURE TENANT IMPROVEMENTS)

LEGEND

- NIC (NOT IN CONTRACT)
- NEW PARTITION / CONSTRUCTION WITH TAG, SEE SHEET
- NEW FIRE RATED PARTITION / CONSTRUCTION WITH TAG
- FEC
NEW FIRE EXTINGUISHER AND CABINET
- NEW DOOR ASSEMBLY

SCALE: 1/8" = 1'-0"

PROJECT NUMBER: 2202017.00
DRAWN BY: Author
CHECKED BY: Checker

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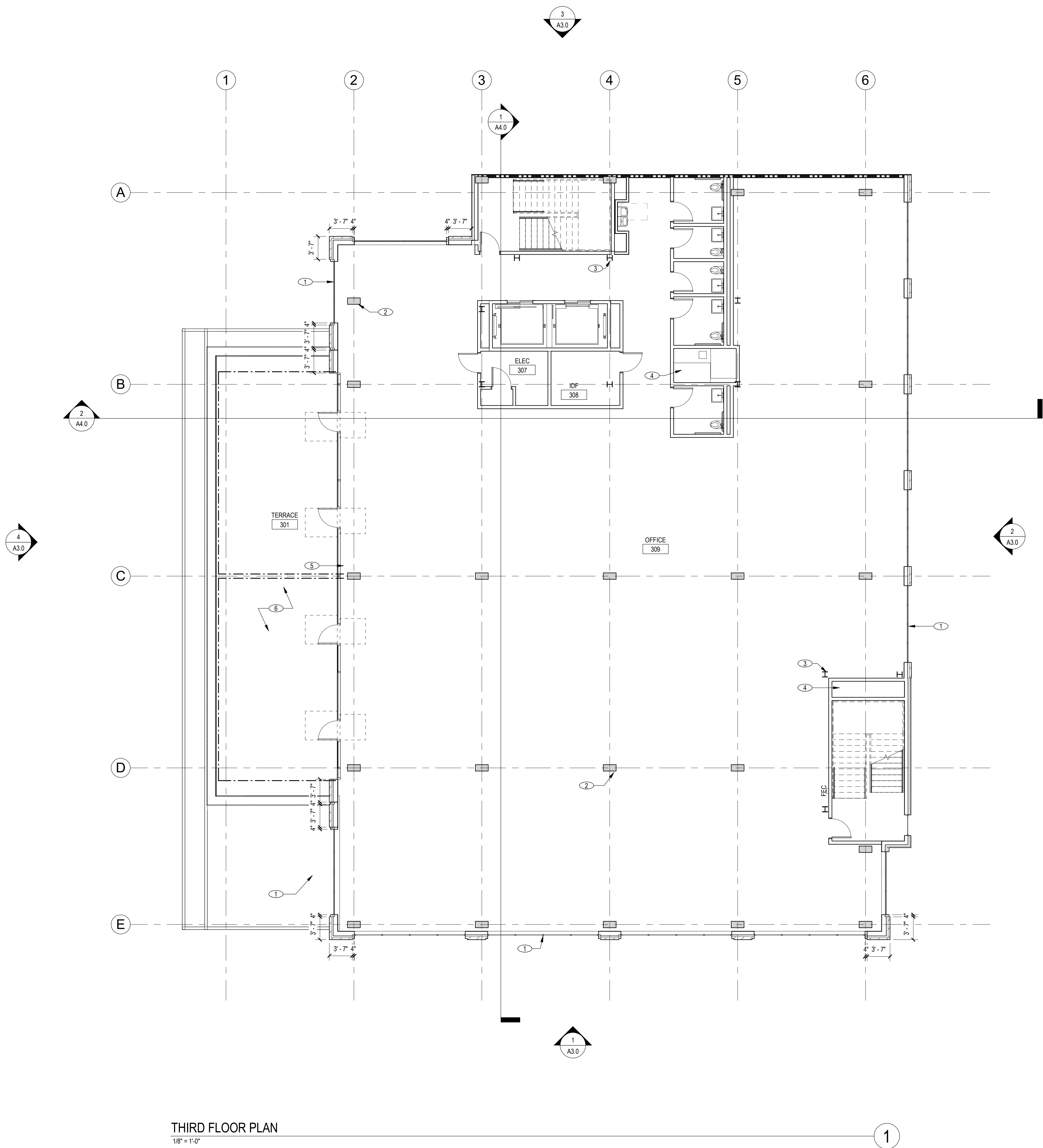
NOT FOR
CONSTRUCTION

SHEET NAME:

THIRD FLOOR PLAN

SHEET NUMBER:

A2.2



THIRD FLOOR PLAN
1/8" = 1'-0"

1

CLIENT:



PROJECT NAME & ADDRESS:

57 S. B STREET

57 S. B STREET
SAN MATEO, CA 94401

ISSUE:

ISSUE DATE:

REVISIONS :

DESCRIPTION	DATE
PRE-APPLICATION	12/09/2021

KEYNOTES

KEYNOTE DESCRIPTION

- BUTT-JOINT GLAZED CURTAINWALL SYSTEM
- MASS TIMBER STRUCTURAL COLUMN, TYP.
- STEEL BRACE FRAME
- MECHANICAL SHAFT
- UNCOVERED TENANT TERRACE

LEGEND

- NIC (NOT IN CONTRACT)
- NEW PARTITION / CONSTRUCTION WITH TAG, SEE SHEET
- NEW FIRE RATED PARTITION / CONSTRUCTION WITH TAG
- NEW FIRE EXTINGUISHER AND CABINET
- NEW DOOR ASSEMBLY

SCALE: 1/8" = 1'-0"

PROJECT NUMBER: 2202017.00
DRAWN BY: Author
CHECKED BY: Checker

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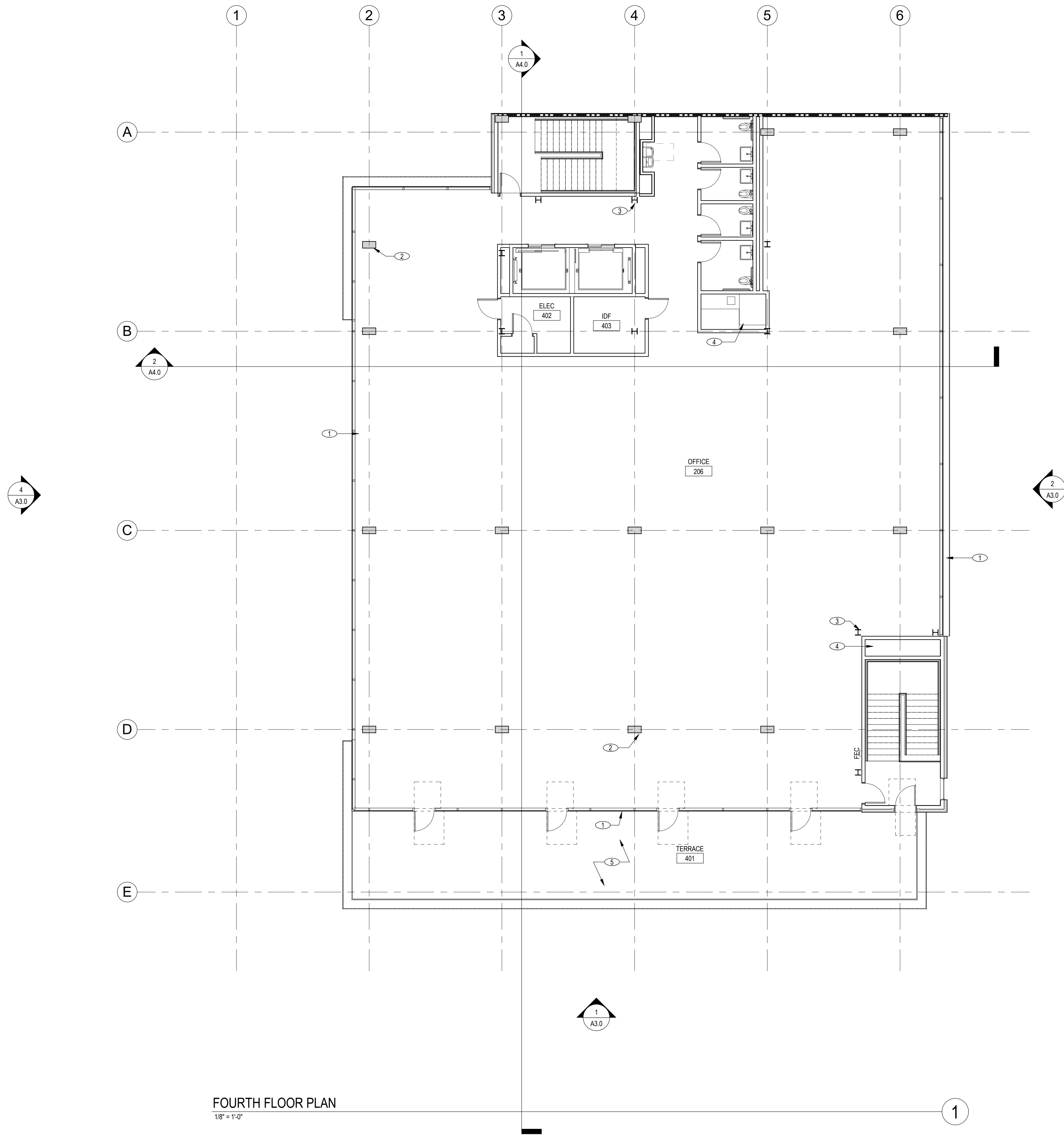
NOT FOR
CONSTRUCTION

SHEET NAME:

FOURTH FLOOR PLAN

SHEET NUMBER:

A2.3



FOURTH FLOOR PLAN

1/8" = 1'-0"

CLIENT:



PROJECT NAME & ADDRESS:

57 S. B STREET

57 S. B STREET
SAN MATEO, CA 94401

ISSUE:

ISSUE DATE:

REVISIONS :

REVISIONS	DESCRIPTION	DATE
1	PRE-APPLICATION	12/09/2021

KEYNOTES

KEYNOTE DESCRIPTION

- 1 ROOF PARAPET AND SOFFIT BELOW
- 2 MECHANICAL EQUIPMENT SCREEN
- 3 ROOFTOP MECHANICAL EQUIPMENT
- 4 ELEVATOR PENTHOUSE
- 5 PROPOSED SOLAR ARRAY (FINAL AREA AND LAYOUT TO BE DETERMINED)

LEGEND

- NIC (NOT IN CONTRACT)
- NEW PARTITION / CONSTRUCTION WITH TAG, SEE SHEET
- NEW FIRE RATED PARTITION / CONSTRUCTION WITH TAG
- NEW FIRE EXTINGUISHER AND CABINET
- NEW DOOR ASSEMBLY

SCALE: 1/8" = 1'-0"

PROJECT NUMBER: 2202017.00
DRAWN BY: Author
CHECKED BY: Checker

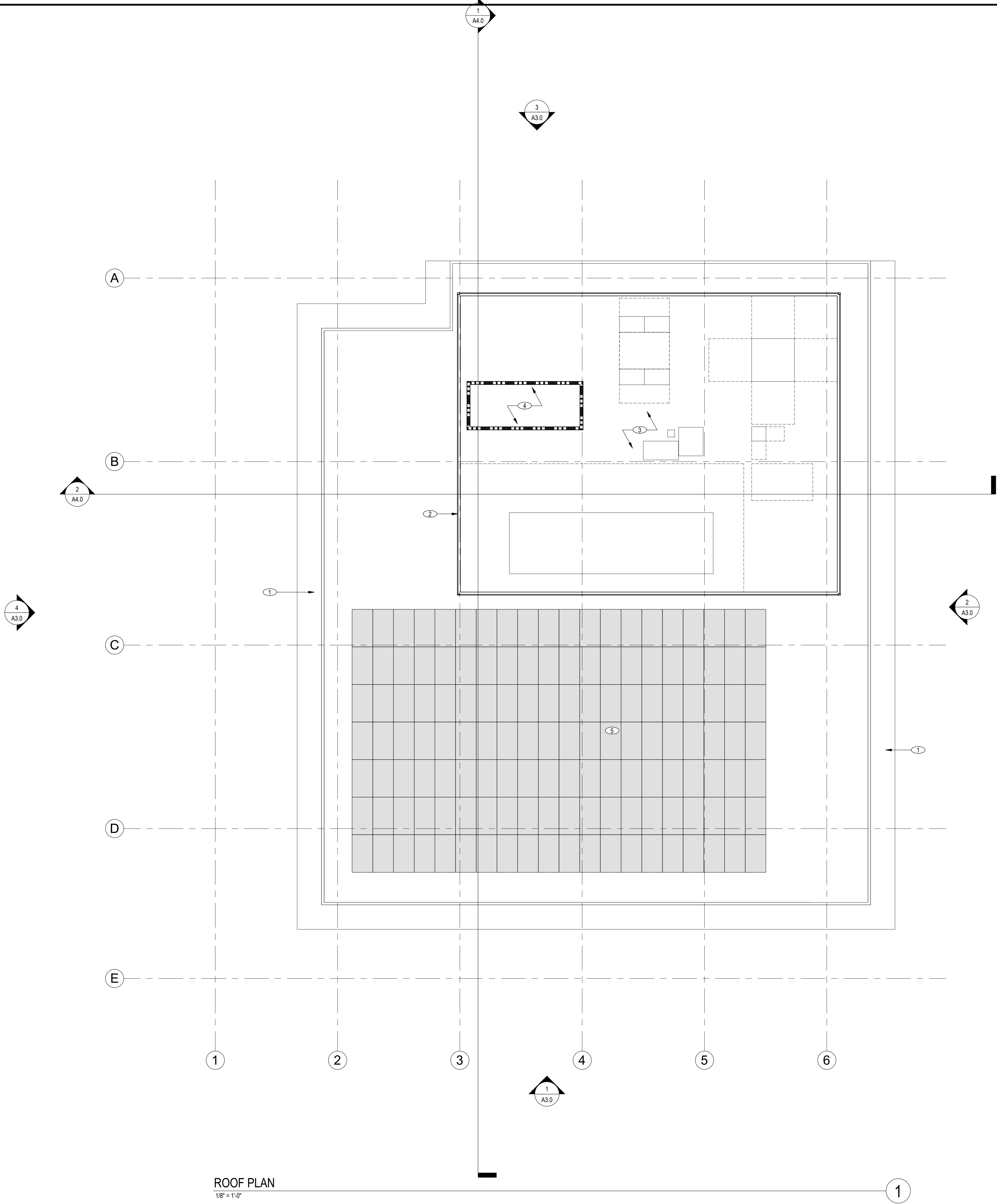
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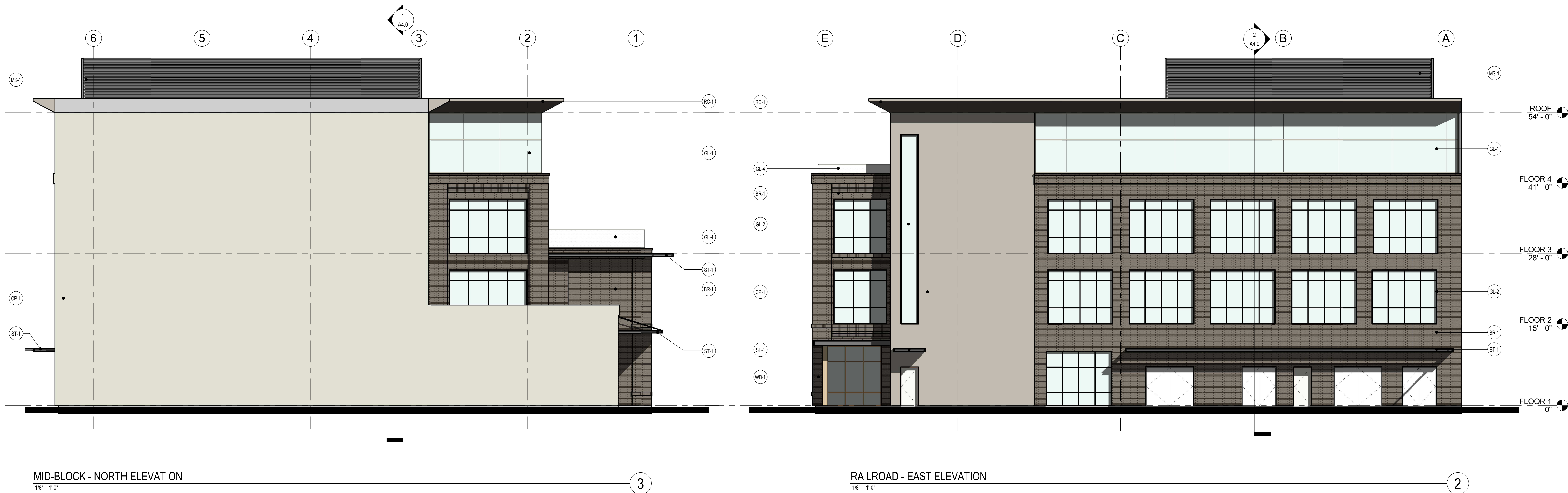
SHEET NAME:
ROOF PLAN

SHEET NUMBER:

A2.4



ROOF PLAN
1/8" = 1'-0"



MATERIAL PALETTE

ROOF CANOPY:

RC-1



ROOF MECHANICAL SCREEN:

MS-1



GLASS GUARDRAIL:

GL-4



EXPOSED WOOD:

WD-1



STEEL CANOPY:

ST-1



BUTT-JOINT CURTAINWALL GLAZING:

GL-1



DARK-FRAMED STOREFRONT:

GL-2



WOOD-CLAD STOREFRONT:

GL-3



EXTERIOR BRICK:

BR-1



TEXTURED WALL PANEL:

WP-1



CEMENT PLASTER:

CP-1



*FINAL TEXTURE NOT YET SELECTED

RAW

RMW Architecture Interiors
160 Pine Street
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Fax: 415 788-5216
rmw.com

CLIENT:



PROJECT NAME & ADDRESS:

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57 S. B STREET
SAN MATEO, CA 94401

ISSUE:

ISSUE DATE:

REVISIONS:

DESCRIPTION	DATE
PRE-APPLICATION	12/09/2021

SCALE: 1/8" = 1'-0"

PROJECT NUMBER: 2202017.00
DRAWN BY: Author
CHECKED BY: Checker

STAMP:

NOT FOR
CONSTRUCTION

SHEET NAME:
EXTERIOR ELEVATIONS

SHEET NUMBER:
A3.0

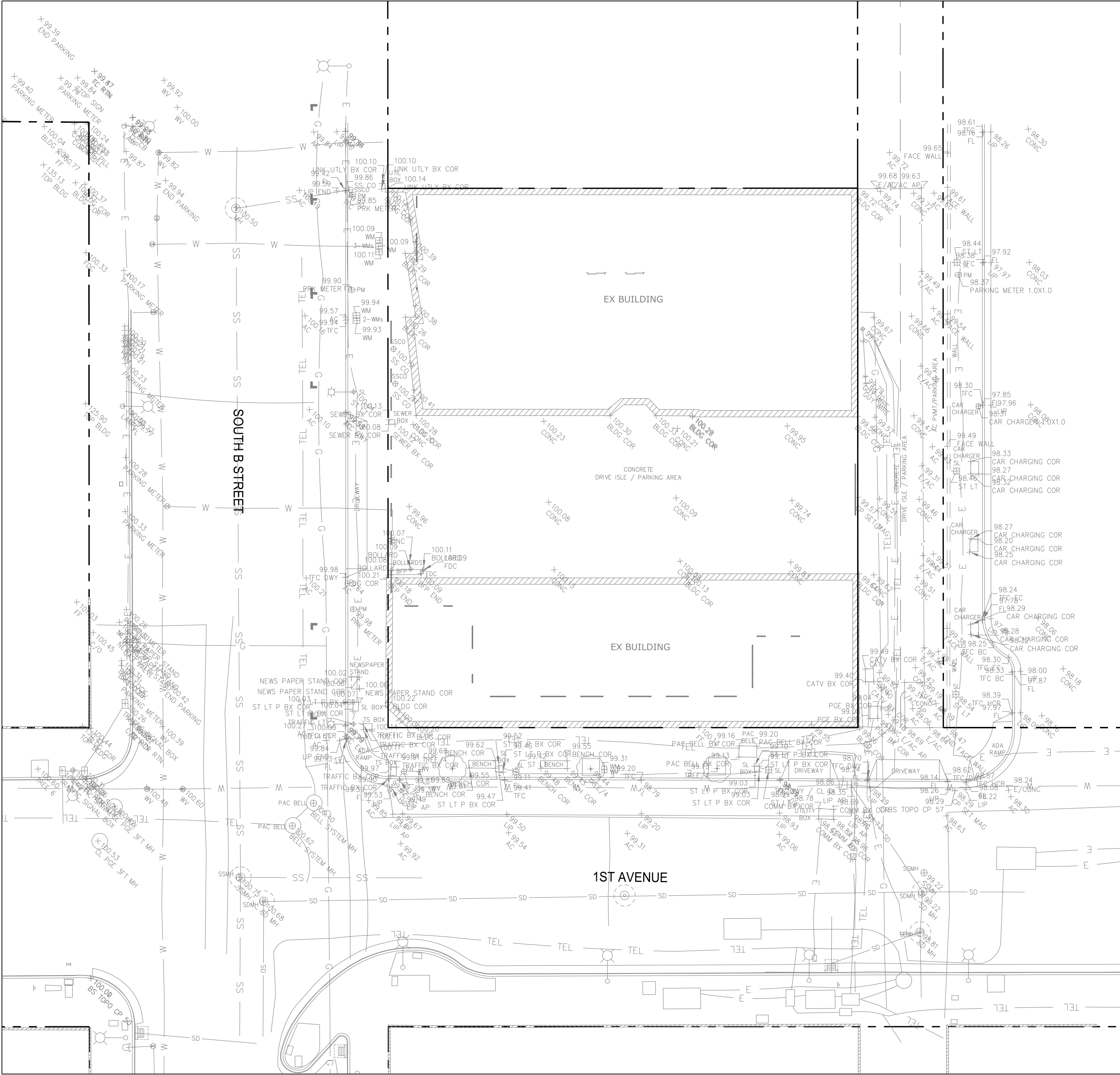
LEGEND

	(P) PROPERTY LINE
	(P) ADJACENT PROPERTY LINE
	(P) BACK OF CURB
	(P) FACE OF CURB
	(P) DRIVEWAY
	(P) TRUNCATED DOMES

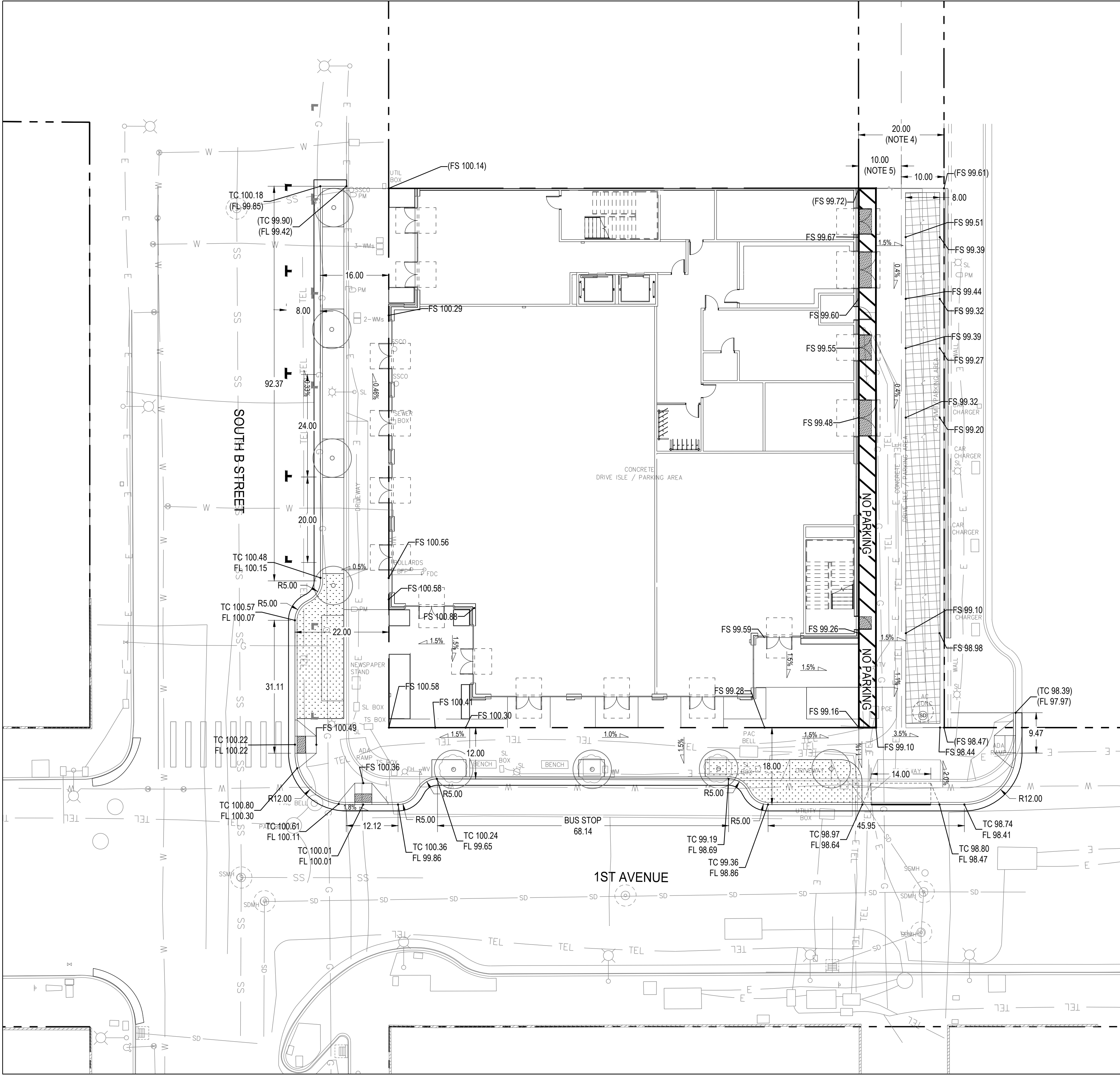
	(P) CURB RAMP
	(P) TREE
	(P) PAVEMENT MARKING
	(P) LANDSCAPE
	(P) TREATMENT AREA
	(P) PERMEABLE PAVEMENT

	FS 100.00	HARDSCAPE SPOT ELEVATION
	FG 100.00	SOFTSCAPE SPOT ELEVATION
	1.0%	HARDSCAPE SLOPE
	1.0%	SOFTSCAPE SLOPE

	(E) DRAINAGE INLET
	(P) HYDRODYNAMIC SEPARATOR
	(P) SD MANHOLE
	(P) SD POC
	(P) STORM DRAIN PIPE
	(P) FLOWLINE
	TREATMENT AREA



EXISTING CONDITIONS
SCALE: 1"=15'



PROPOSED GRADING
SCALE: 1"=15'

NOTES

1. PROPOSED GRADES AND UTILITIES SHOWN ARE CONCEPTUAL. FINAL GRADES TO BE DEVELOPED DURING THE DESIGN PHASE.
2. FUTURE GRADING WILL CONFORM TO EXISTING CONDITIONS AT THE PROJECT PERIMETER.
3. ALL GRADING SHALL COMPLY WITH APPLICABLE PERMITS, LOCAL ORDINANCES AND RECOMMENDATIONS OF THE GEOTECHNICAL REPORT.
4. DRIVEWAY EASEMENT ESTABLISHED IN DOCUMENT NO. 27972-D IN BOOK 786, PAGE 128 OF OFFICIAL RECORDS.
5. GAS PIPELINE EASEMENT ESTABLISHED IN DOCUMENT NO. 56325-H IN BOOK 1573, PAGE 365 OF OFFICIAL RECORDS.

NORTH



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SHERWOOD
DESIGN ENGINEERS

2548 Mission Street
San Francisco, CA 94110
www.sherwoodengineers.com

CLIENT:

HARVEST
PROPERTIES

PROJECT NAME & ADDRESS:

57 S. B STREET

57 S. B STREET
SAN MATEO, CA 94401

ISSUE:

ISSUE DATE:

REVISIONS:

DESCRIPTION	DATE
PRE-APPLICATION	12/09/2021

SCALE:

1"=15'

PROJECT NUMBER:

21-034

DRAWN BY:

TP

CHECKED BY:

RA

STAMP:

NOT FOR
CONSTRUCTION

SHEET NAME:

CONCEPT GRADING
AND DRAINAGE

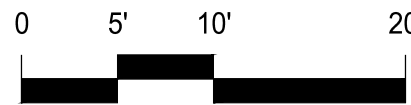
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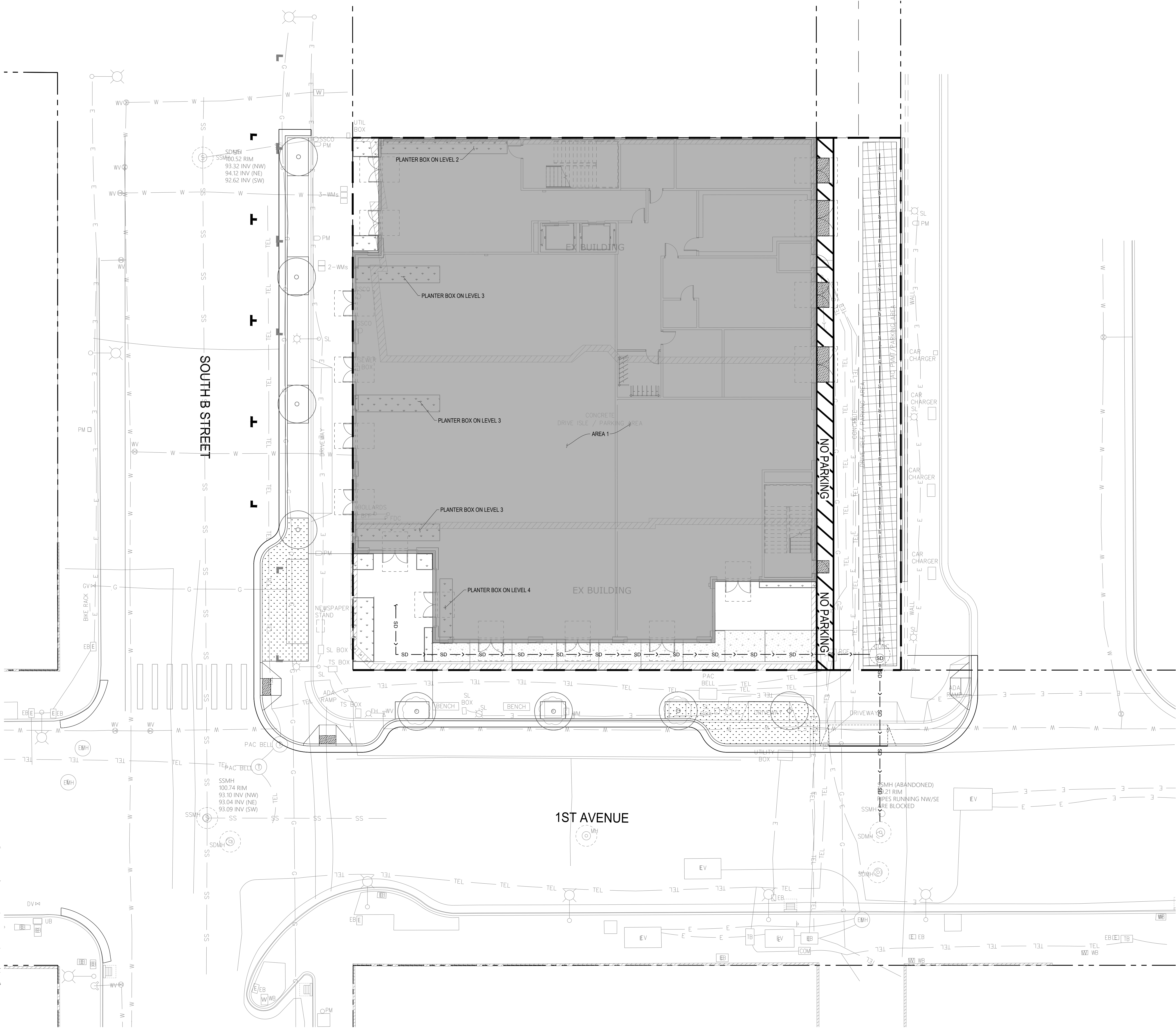
C2.00

UTILITY KEYNOTES

12/09/2021

C2.50





EXISTING CONDITIONS		
PERMEABLE AREA	IMPERMEABLE AREA	TOTAL AREA
SF	SF	SF
0	16409	16409

31-57 SOUTH B STREET								
AREA	ROOF	HARDSCAPE	LANDSCAPE	PERMEABLE PAVEMENT	DRAINAGE TO SELF TREATED AREA	BIORETENTION AREA	TOTAL AREA	TREATMENT AREA REQUIRED WITH 12" PONDING DEPTH
	SF	SF	SF	SF	SF	SF	SF	SF
1	12261	2068	608	994	1988	478	16409	321

LEGEND

DRAINAGE AREA BOUNDARY

PROPERTY LINE

ROOF

TREATMENT AREA

LANDSCAPE

HARDSCAPE

(P) PERMEABLE PAVEMENT

- NOTES
1. THIS PLAN REPRESENTS METHODS FOR FULFILLING THE REQUIREMENTS FOR THE SAN MATEO WATER POLLUTION PREVENTION PROGRAM.

2. THE INTENT OF THE PROJECT IS TO TREAT STORMWATER RUNOFF USING LID AND BMPS. STORMWATER COMPLIANCE STRATEGY SHOWN IS CONCEPTUAL AS THE PROJECT DESIGN IS FURTHER REFINED, THESE BMPS WILL BE REVISED ACCORDINGLY.

RAW

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DESIGN ENGINEERS

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PROPERTIES

PROJECT NAME & ADDRESS:
57 S. B STREET

57 S. B STREET
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ISSUE:
ISSUE DATE:

REVISIONS:

DESCRIPTION	DATE
PRE-APPLICATION	12/09/2021

SCALE: 1"=30'

PROJECT NUMBER: 21-034

DRAWN BY: TP

CHECKED BY: RA

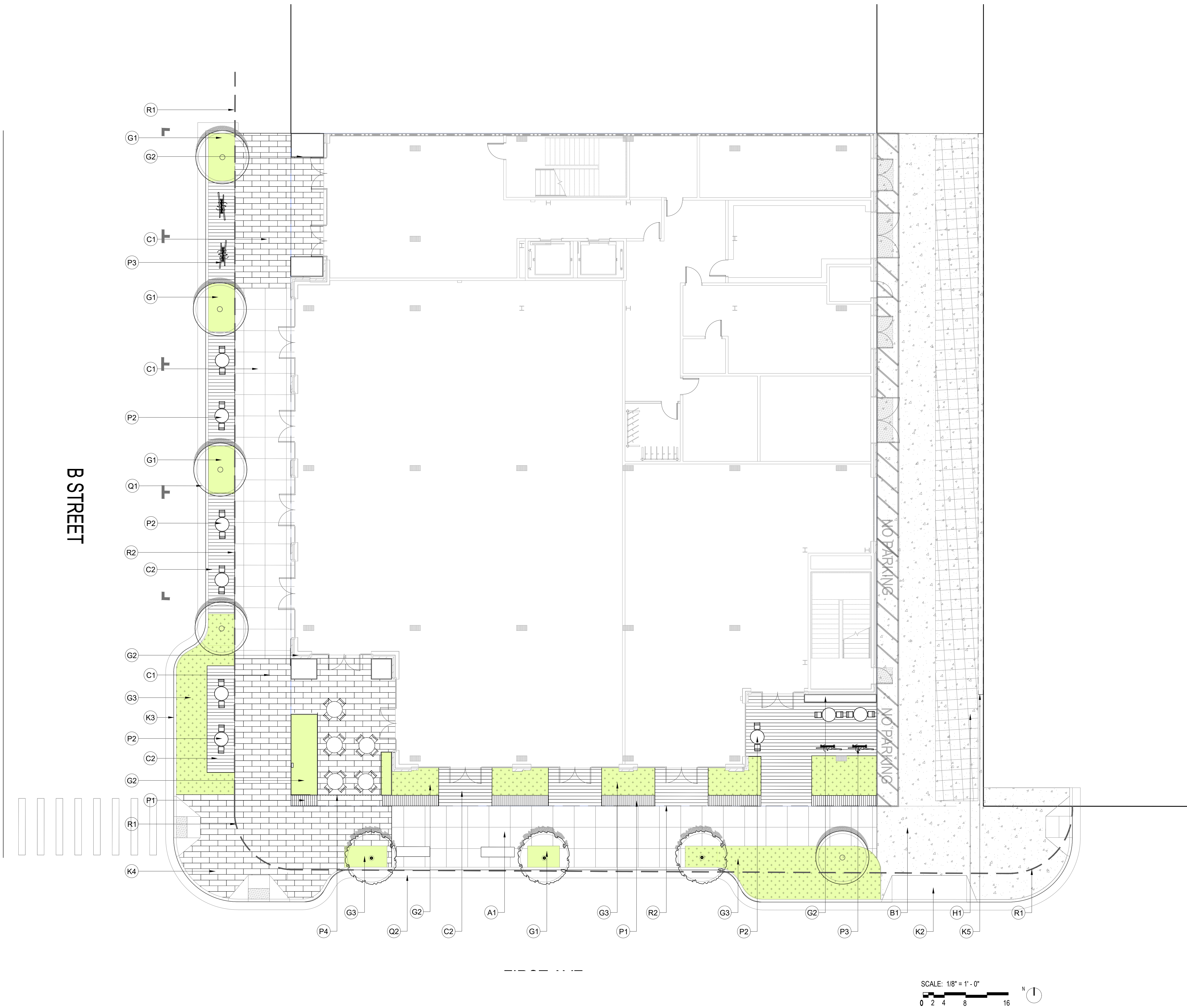
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CONSTRUCTION

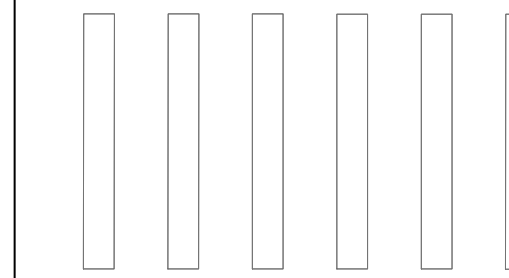
SHEET NAME:
CONCEPT
STORMWATER
MANAGEMENT PLAN

SHEET NUMBER:
C6.00

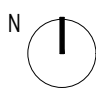




B STREET



SCALE: 1/8" = 1' - 0"
0 2 4 8 16



MATERIALS SCHEDULE

PAVEMENTS

- A1 CONCRETE PAVER, CITY STANDARD
- B1 VEHICULAR CONCRETE
- C1 PRECAST CONCRETE UNIT PAVER 1
- C2 PRECAST CONCRETE UNIT PAVER 2

PLANTER, CURBS

- G1 AT GRADE PLANTING AREA
- G2 RAISED PLANTING AREA
- G3 AT GRADE STORMWATER PLANTING AREA
- G4 RAISED STORMWATER PLANTING AREA
- H1 PERMEABLE PAVING
- K2 CURB CUT
- K3 CURB EXTENSION
- K4 BULB-OUT
- K5 PLANTING AREA FOR VINES

SITE FURNISHINGS, PARKING

- P1 BUILT-IN BENCH
- P2 MOVEABLE FURNITURE (TBD BY TENANT)
- P3 BIKE RACK(8 SPACES)
- P4 FENCE ENCLOSURE (36" HT)
- Q1 PARKING (5 SPACES)
- Q2 BUS LOADING ZONE
- R1 EXISTING CURBLINE
- R2 PROPERTY LINE

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PLACE

735 NW 18th Avenue
Portland OR 97209
503.334.2080
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PROPERTIES

PROJECT NAME & ADDRESS:

57 S. B STREET

57 S. B STREET
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ISSUE DATE:

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DESCRIPTION	DATE
PRE-APPLICATION	12/09/2021

SCALE:

PROJECT NUMBER: 2202017.00
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CHECKED BY: CB

STAMP:

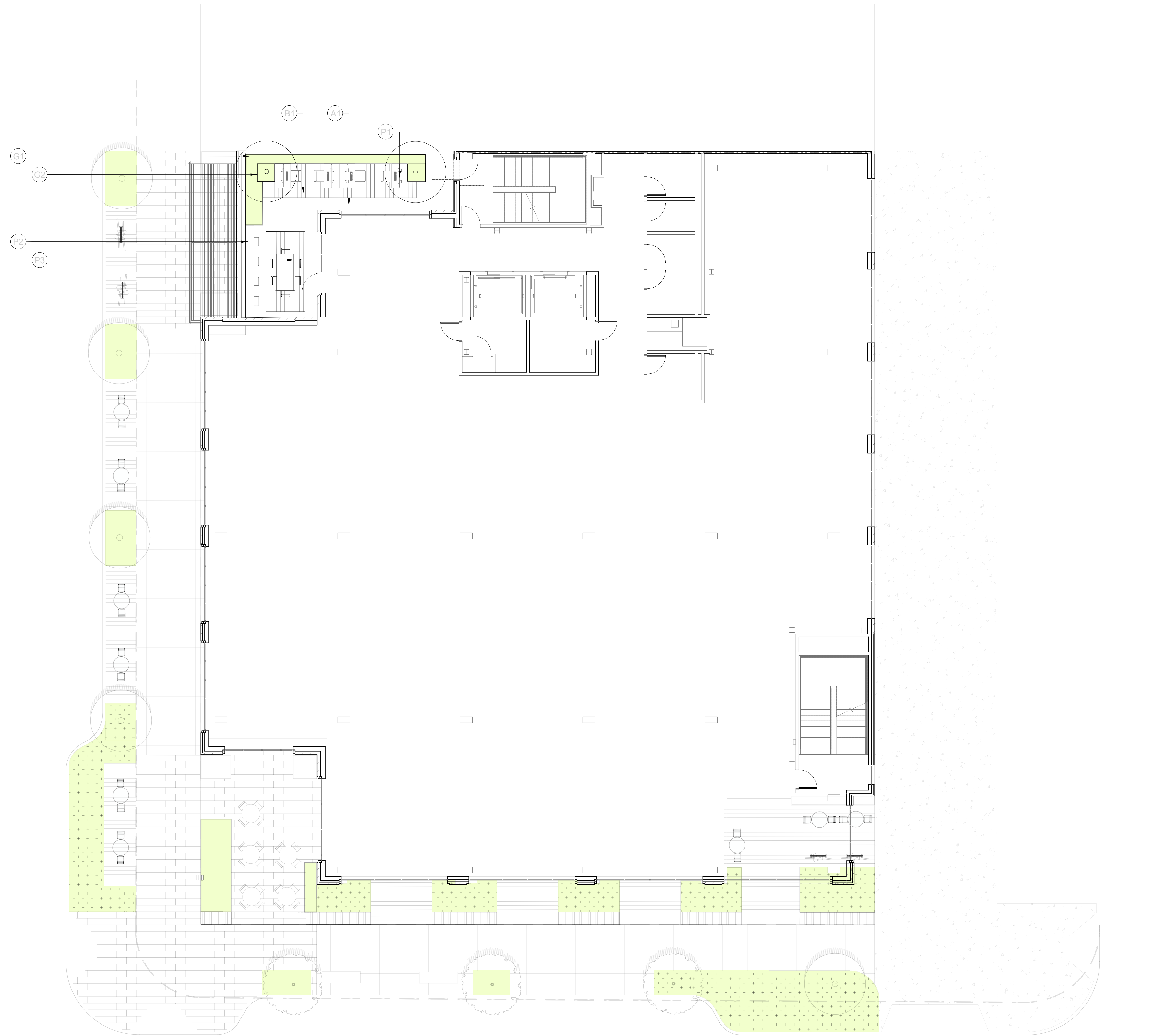
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CONSTRUCTION**

SHEET NAME:

**LANDSCAPE PLAN -
GROUND FLOOR**

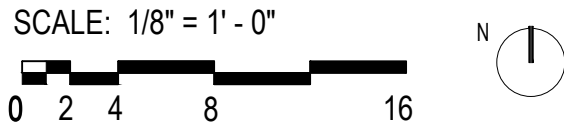
SHEET NUMBER:

L1.00



B STREET

FIRST AVE



MATERIALS SCHEDULE

PAVEMENTS

- A1 CONCRETE PAVER ON PEDESTAL, TYP
- B1 WOOD DECKING ON PEDESTAL, TYP

PLANTER

- G1 RAISED PLANTING AREA, 36"
- G2 RAISED TREE PLANTING AREA, 48"

SITE FURNISHINGS (TBD BY FUTURE TENANT)

- P1 OUTDOOR WORK STATION
- P2 BAR WORK STATION
- P3 FAMILY STYLE DINNER
- P4 FIRESIDE CHAT AREA
- P5 LIBRARY WORKBENCHES
- P6 FLEXIBLE CONFERENCE TABLE
- P7 LOUNGE CHAIRS
- P8 POOL TABLE
- P9 LOUNGE WITH FIRETABLE
- P10 WORKBENCH
- P11 WORKTABLE
- P12 BANQUETTE BENCH WITH FLEXIBLE SEATING
- P13 BUILDING IN SEAT
- P14 PING PONG TABLE
- P15 BBQ
- P16 SURROUND BENCH BY THE TREE

NOTE: TERRACE TO BE FURNISHED BY OWNER

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PROJECT NAME & ADDRESS

57 S. B STREET

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ISSUE DATE:

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REVISIONS	DESCRIPTION	DATE
1	PRE-APPLICATION	12/09/2021

SCALE:

PROJECT NUMBER: 2202017.00
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STAMP:

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CONSTRUCTION

SHEET NAME:

LANDSCAPE PLAN -
LEVEL 2 TERRACE

SHEET NUMBER:

L1.01



MATERIALS SCHEDULE

PAVEMENTS

(A1) CONCRETE PAVER ON PEDESTAL, TYP

(B1) WOOD DECKING ON PEDESTAL, TYP

PLANTER

(G1) RAISED PLANTING AREA, 36"

(G2) RAISED TREE PLANTING AREA, 48"

SITE FURNISHINGS

(P1) OUTDOOR WORK STATION

(P2) BAR WORK STATION

(P3) FAMILY STYLE DINNER

(P4) FIRESIDE CHAT AREA

(P5) LIBRARY WORKBENCHES

(P6) FLEXIBLE CONFERENCE TABLE

(P7) LOUNGE CHAIRS

(P8) POOL TABLE

(P9) LOUNGE WITH FIRETABLE

(P10) WORKBENCH

(P11) WORKTABLE

(P12) BANQUETTE BENCH WITH FLEXIBLE SEATING

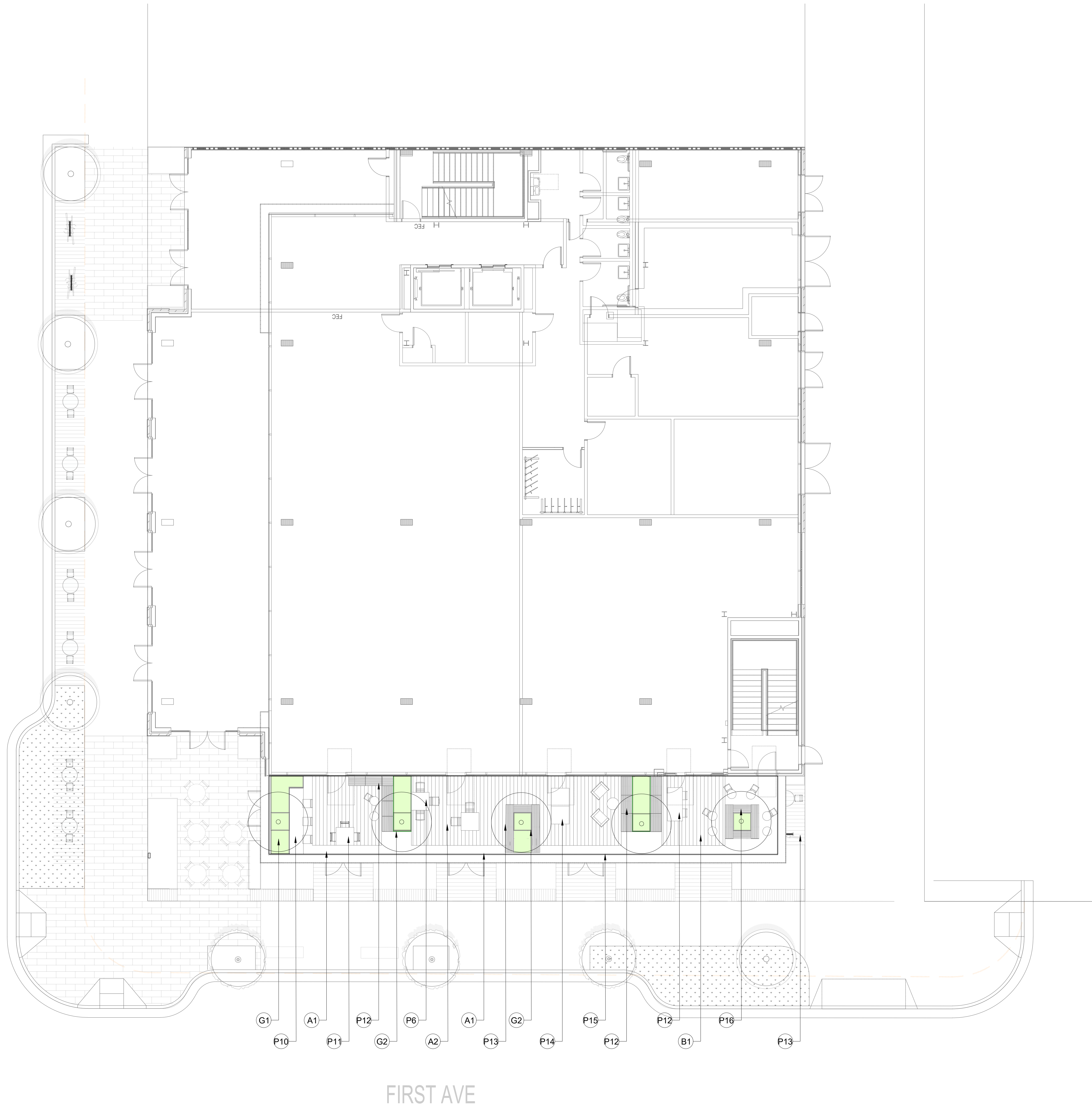
(P13) BUILDING IN SEAT

(P14) PING PONG TABLE

(P15) BBQ

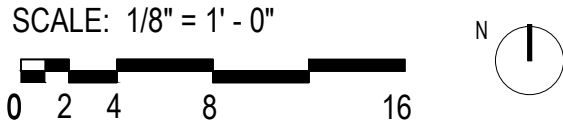
(P16) SURROUND BENCH BY THE TREE

NOTE: TERRACE TO BE FURNISHED BY OWNER



B STREET

FIRST AVE



MATERIALS SCHEDULE

PAVEMENTS

- (A1) CONCRETE PAVER ON PEDESTAL, TYP
- (B1) WOOD DECKING ON PEDESTAL, TYP

PLANTER

- (G1) RAISED PLANTING AREA, 36"
- (G2) RAISED TREE PLANTING AREA, 48"

SITE FURNISHINGS

- (P1) OUTDOOR WORK STATION
- (P2) BAR WORK STATION
- (P3) FAMILY STYLE DINNER
- (P4) FIRESIDE CHAT AREA
- (P5) LIBRARY WORKBENCHES
- (P6) FLEXIBLE CONFERENCE TABLE
- (P7) LOUNGE CHAIRS
- (P8) POOL TABLE
- (P9) LOUNGE WITH FIRETABLE
- (P10) WORKBENCH
- (P11) WORKTABLE
- (P12) BANQUETTE BENCH WITH FLEXIBLE SEATING
- (P13) BUILDING IN SEAT
- (P14) PING PONG TABLE
- (P15) BBQ
- (P16) SURROUND BENCH BY THE TREE

NOTE: TERRACE TO BE FURNISHED BY OWNER

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PROJECT NAME & ADDRESS:

57 S. B STREET

**57 S. B STREET
SAN MATEO, CA 94401**

ISSUE:

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DESCRIPTION	DATE
PRE-APPLICATION	12/09/2021

SCALE:

PROJECT NUMBER:	2202017.00
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CHECKED BY:	CB

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CONSTRUCTION**

SHEET NAME:

**LANDSCAPE PLAN -
LEVEL 4 TERRACE**

SHEET NUMBER:

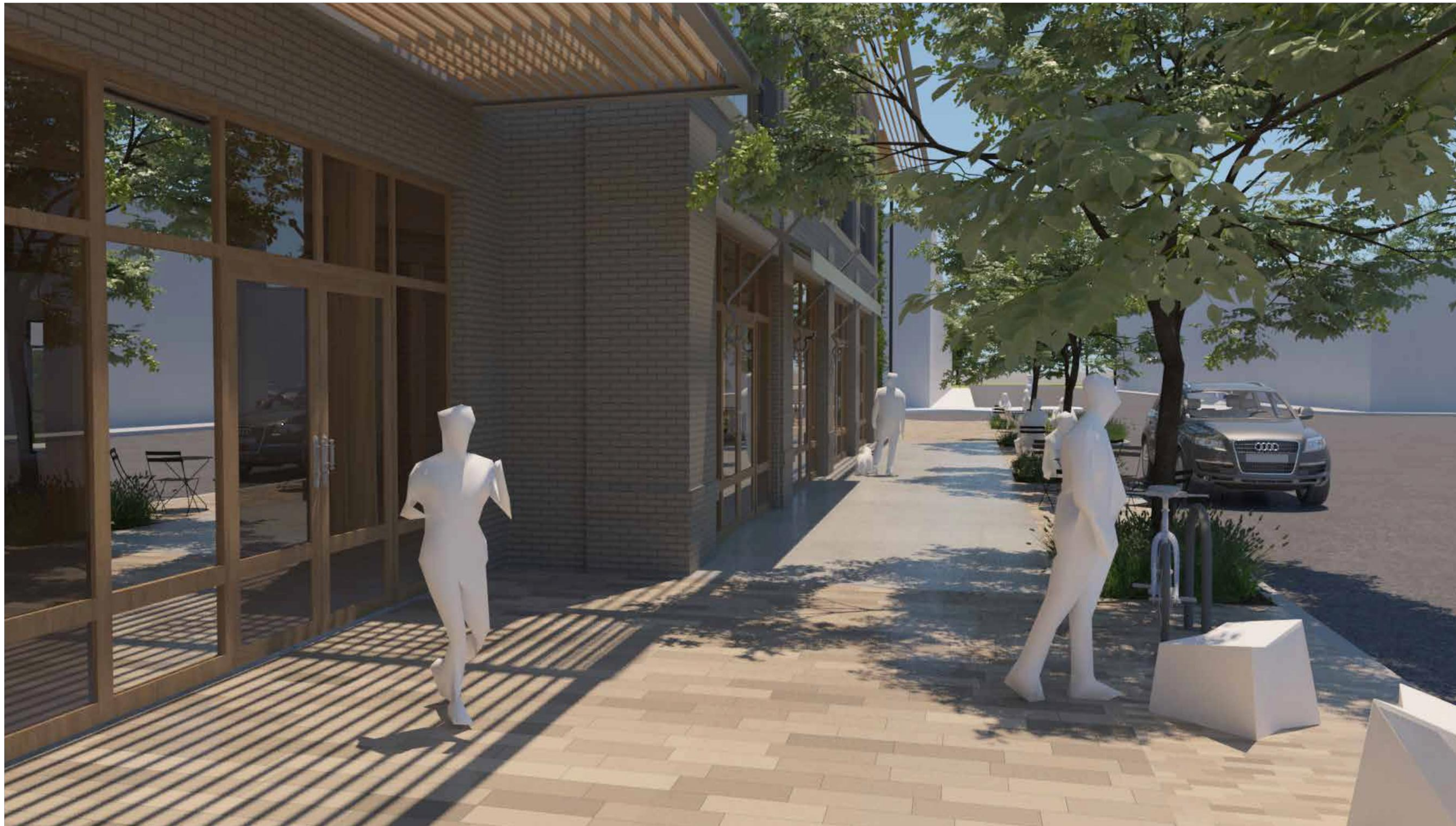
L1.03



1 SOUTHWEST CORNER OF S B STREET AND 1ST AVE



2 SOUTHWEST CORNER OF S B STREET AND 1ST AVE



3 B STREET LOOKING SOUTH



4 B STREET AT CURB EXTENSION AND PARKLET

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CLIENT:



HARVEST
PROPERTIES

PROJECT NAME & ADDRESS

57 S. B STREET

57 S. B STREET
SAN MATEO, CA 94401

ISSUE:

ISSUE DATE:

REVISIONS:

REVISIONS	DESCRIPTION	DATE
1	PRE-APPLICATION	12/09/2021

SCALE:

PROJECT NUMBER: 2202017.00
DRAWN BY: TH
CHECKED BY: CB

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CONSTRUCTION

SHEET NAME:

LANDSCAPE
RENDERINGS
(GROUND LEVEL)

SHEET NUMBER:

L1.04



1 SOUTHWEST CORNER OF S B STREET AND 1ST AVE



2 SOUTHWEST CORNER OF S B STREET AND 1ST AVE



3 1ST AVE LOOKING EAST



4 SECONDARY ENTRANCE AT 1ST AVE & ALLEY



5 1ST AVE LOOKING WEST

FOR ILLUSTRATIVE PURPOSES ONLY

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PROJECT NAME & ADDRESS:

57 S. B STREET

57 S. B STREET
SAN MATEO, CA 94401

ISSUE:

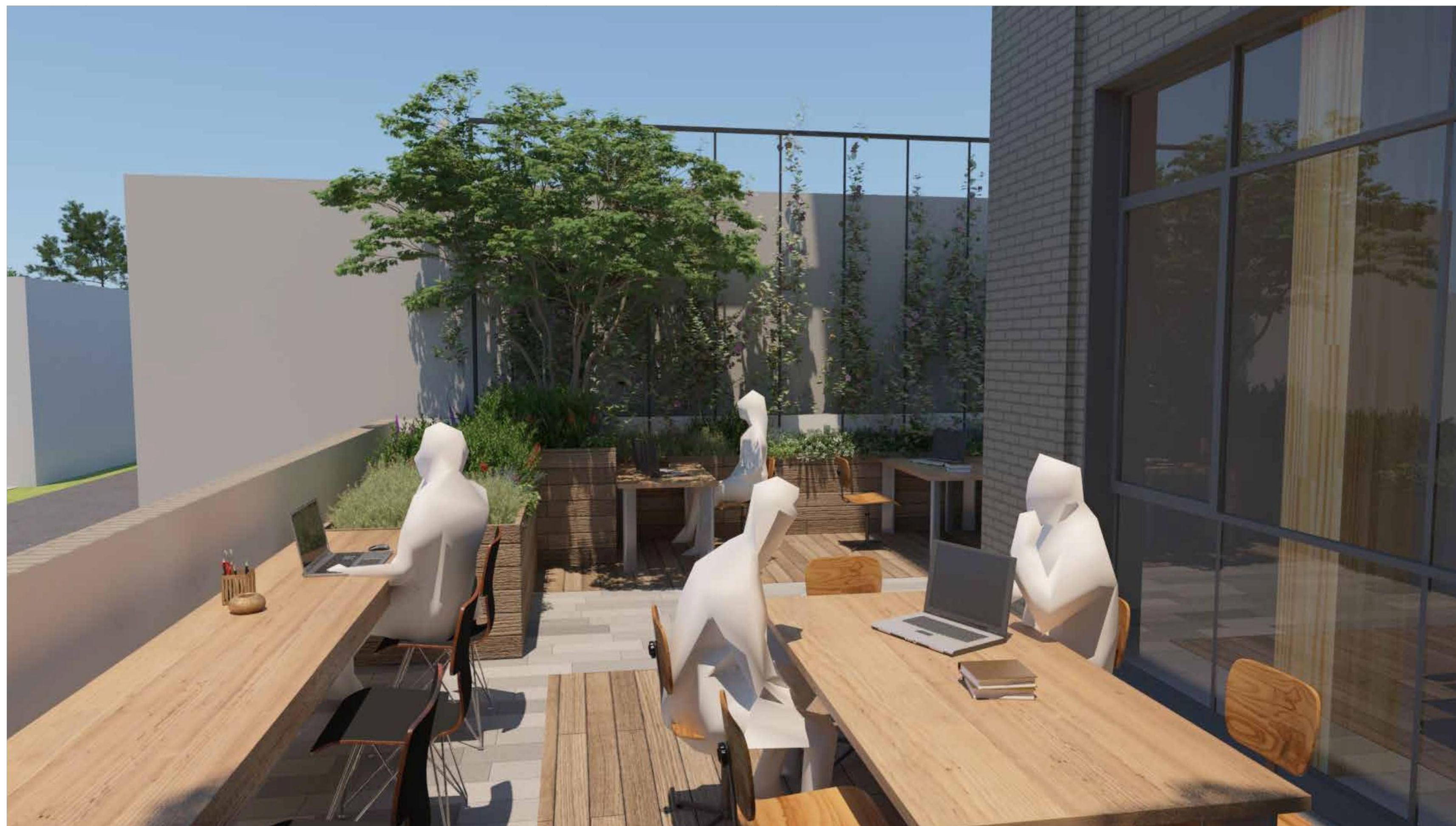
ISSUE DATE:

REVISIONS:

PRE-APPLICATION	DESCRIPTION	DATE
		12/09/2021



1 2ND FLOOR TERRACE AERIAL



2 2ND FLOOR TERRACE LOOKING NORTH



3 3RD FLOOR TERRACE AERIAL



4 3RD FLOOR TERRACE LOOKING SOUTH

SCALE:

PROJECT NUMBER:	2202017.00
DRAWN BY:	TH
CHECKED BY:	CB

STAMP:

**NOT FOR
CONSTRUCTION**

SHEET NAME:

**LANDSCAPE
RENDERINGS
(L2&3)**

SHEET NUMBER:

L1.06

FOR ILLUSTRATIVE PURPOSES ONLY



1 4TH FLOOR TERRACE AERIAL



2 4TH FLOOR TERRACE LOOKING WEST



3 4th FLOOR TERRACE

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CLIENT:



PROJECT NAME & ADDRESS:

57 S. B STREET

57 S. B STREET
SAN MATEO, CA 94401

ISSUE:

ISSUE DATE:

REVISIONS:

PRE-APPLICATION	DESCRIPTION	DATE
		12/09/2021

SCALE:

PROJECT NUMBER:	2202017.00
DRAWN BY:	TH
CHECKED BY:	CB

STAMP:

NOT FOR
CONSTRUCTION

SHEET NAME:

LANDSCAPE
RENDERINGS
(Level 4)

SHEET NUMBER:

L1.07